



**FOREST PARK SOUTHEAST
DEVELOPMENT COMMITTEE**

July 23, 2024

Missouri Foundation for Health

4254 Vista

6:00 P.M.

MEETING AGENDA

1. Call to Order

2. Approval of Previous Meeting Minutes.....3 Minutes

3. Introductions.....5 Minutes

4. 1301 Kentucky Ave.: Request for Variance and Demolition Support

- **Developer Presentation Review.....5 Minutes**
- **Public Comments.....10 Minutes**
- **Committee Comments10 Minutes**

5. 1070-1092 South Kingshighway Blvd & 4580 Chouteau Ave: Variances Support

- **Developer Presentation Review.....10 Minutes**
- **Public Comments.....30 Minutes**
- **Committee Comments15 Minutes**

6. Closed Session

June 26th, 2024 FPSE Development Review Committee Meeting Minutes
4512 Manchester Suite 100

Members Present: Ryan Day, Kurtis L. Eisenbath

Absent members: Rachel Siegert

Others Present: A Abdullah (Park Central), Mark Asad, Drew Jamison

Call to Order

The meeting was called to order at 6:40pm.

Public Comment

No Public Comment

Meeting Minutes

The presentation for 1301 Kentucky Ave was removed from the agenda and tabled to the next meeting

4140-44 Manchester Presentation- Request for a Letter of and Support for a Sign Variance

A. Abdullah presented gave a brief overview of the request from the owners of Atomic at 4140 Manchester. The requestor Drew Jameson. The owner requested a digital video sign to be installed as a secondary sign at the 4144 location of his building, which has two addresses. The sign would display the name and times for artist and acts at the venue. The building is a music venue and is located at the old Atomic Cowboy location.

Committee Comments

R. Day asked the owner what hours the sign will be active. D. Jameson stated her would be flexible would the operating times and it would operate during district hours inline with the hours of the late-night establishments.

K. Eisenbath ask how the sign would be constructed to the building. Jameson stated it would be affixed to the building through mounting.

H. Koch Ask about the brightness of the sign and the light noise impacting potential residents within the grove. Jameson stated he would make whatever accommodations are needed to not impact the residents.

Public Comment

No Comment

Closed Session

R. Day made a motion to support the sign variance request. K. Eisenbath seconded. All were in favor, motion carries.

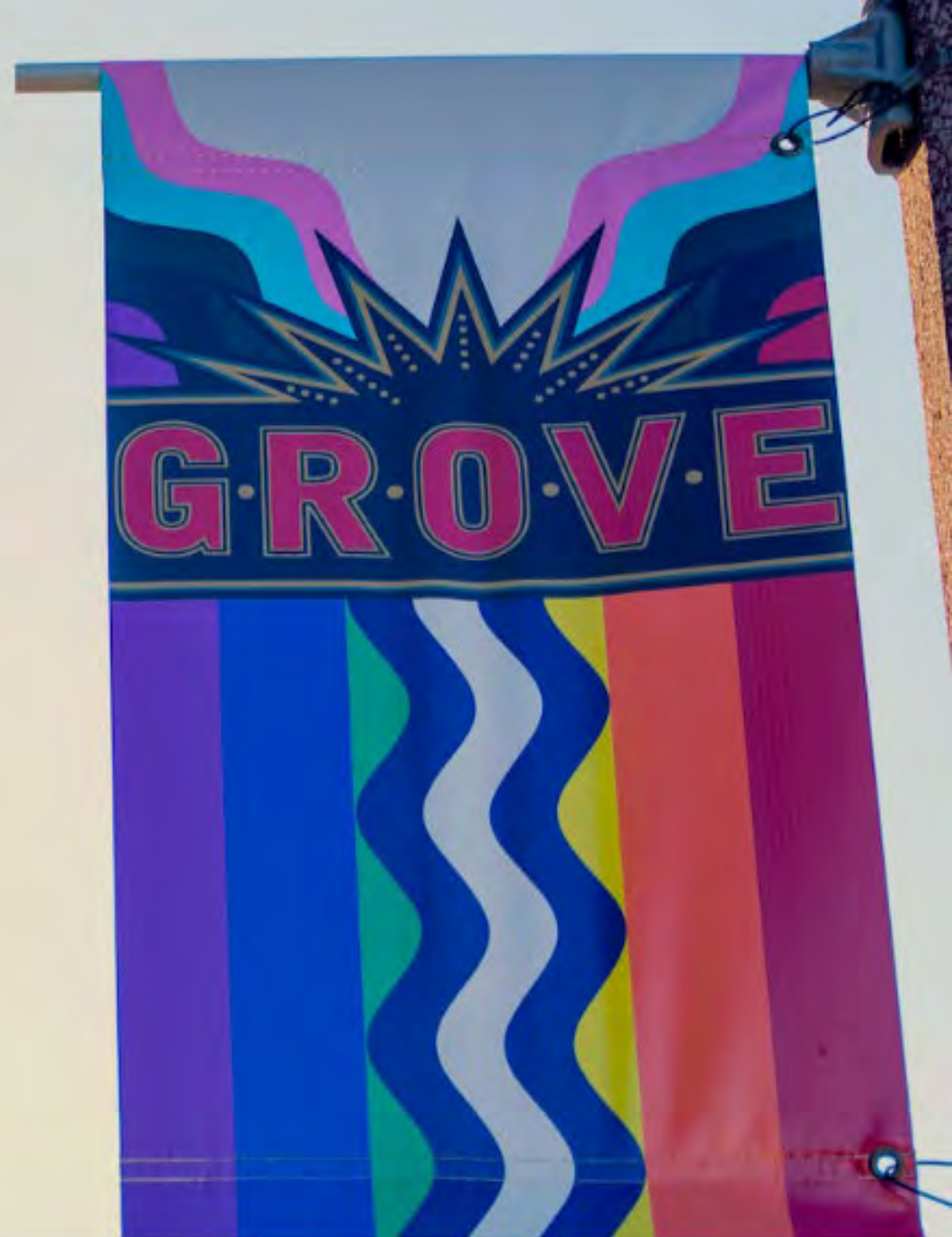
The meeting was adjourned at 7:25 pm.

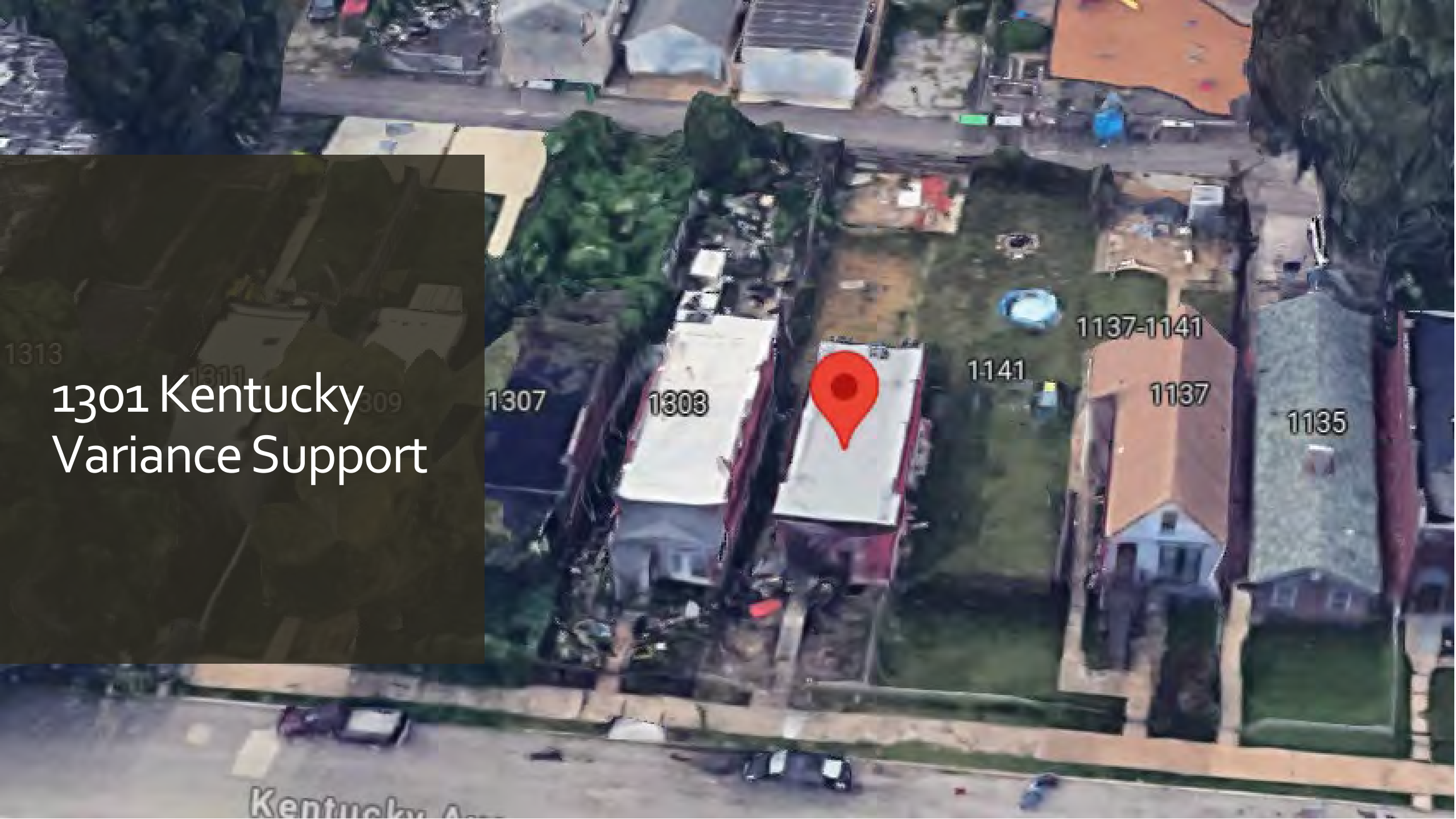
Forest Park Southeast Development Review Committee

July 23, 2024

6:00 PM

Missouri Foundation for Health





1301 Kentucky
Variance Support

Project Description

- **Property Owner: ASA Homes**
- **Contact Person(s): Mark Asad**
- **Mailing Address: 10143
Pagent Dr. St. Louis; 63132**
- **Company Owners /
Principals: Mark Asad**
- **Current zoning:
Neighborhood General Type
3**
- **Square footage of project:
2052 sqft**



Project Information

Costs

Acquisition: \$48,500

**Pre-development Soft
Cost: \$20,000**

**Construction Cost:
\$338,000**

Total: \$406,500

Financial incentives: N/A

Timeline

Site Control: Complete
**Construction Start: Fall
of 2024**

**Construction Complete:
April 2025**

Occupancy April 2025

Project Description

Description of Project

The developer is seeking to demolish the current home located at 1301 Kentucky to build a 2 story, 3-bedroom single family home with a 2-car garage. The project will have a brick facade and vinyl siding.

- The site currently has a single-family home that is on the lot. The home is currently condemned and has collapsed roof and collapsed wall. The project will appear before the city preservation board for approval for demolition.

Requested Variances

The project is seeking support for variances to the FPSE Form-Based Code overlay zoning district. This District is **Neighborhood General Type 2**. While still subject to formal zoning review, anticipated variances include:

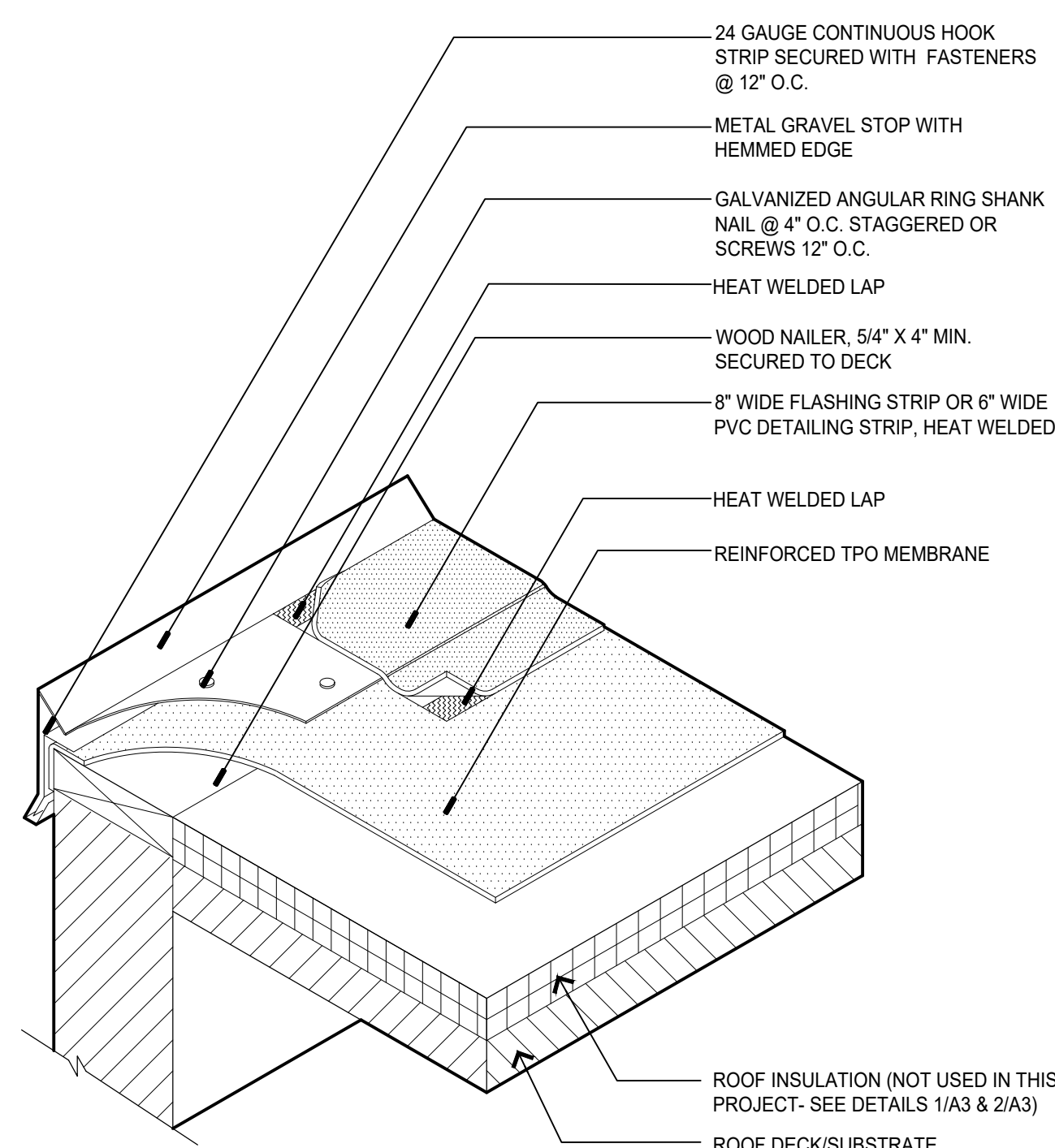
- **Front Materials : Brick Facade with Vinyl Siding on the House**
- **First Floor Ceiling Height:** First floors ceilings are required to have a 12' minimum height. This design has a ceiling height of 9 ft. to limit overshadowing of adjacent existing structures.

Current Side View



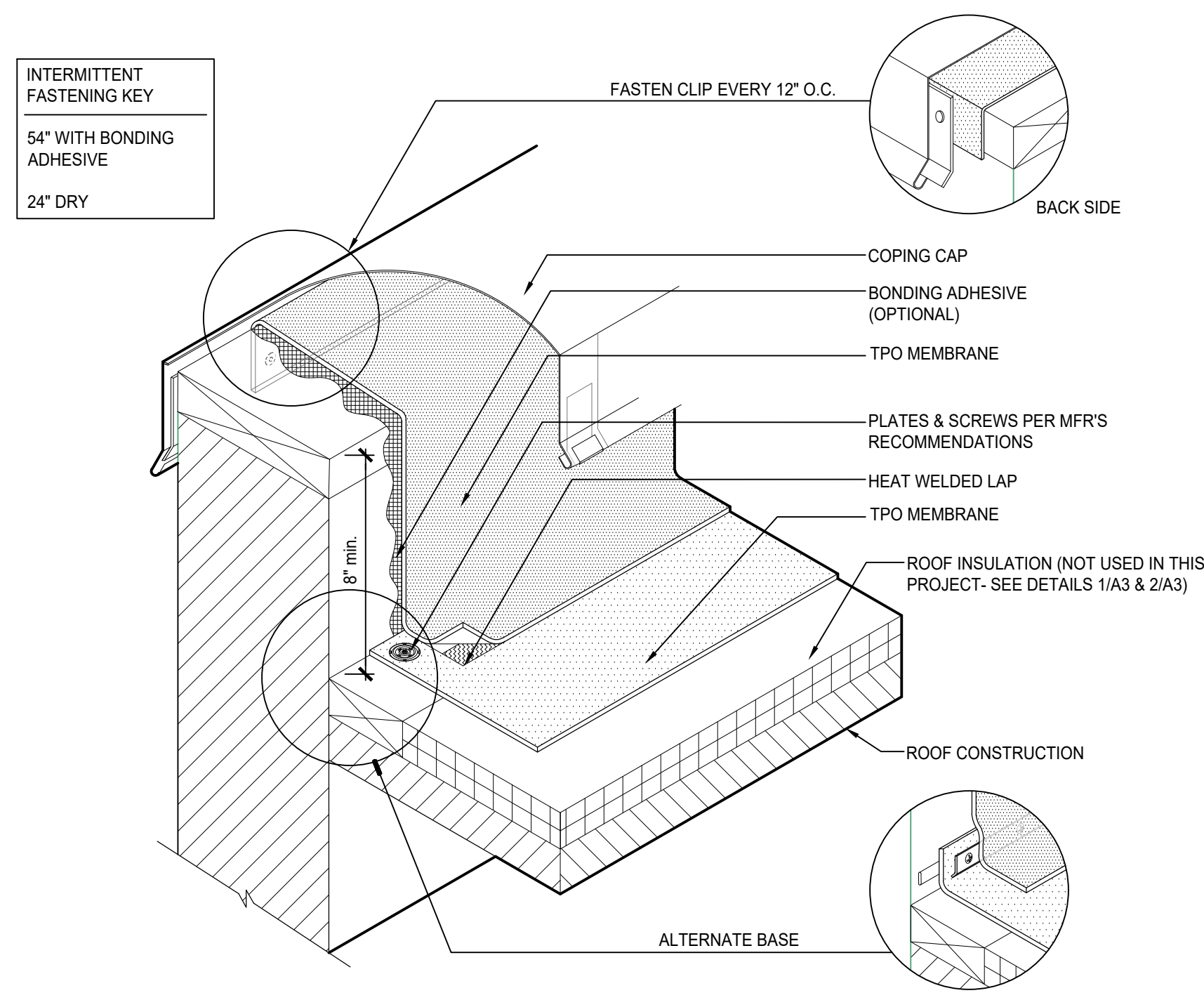
Side View





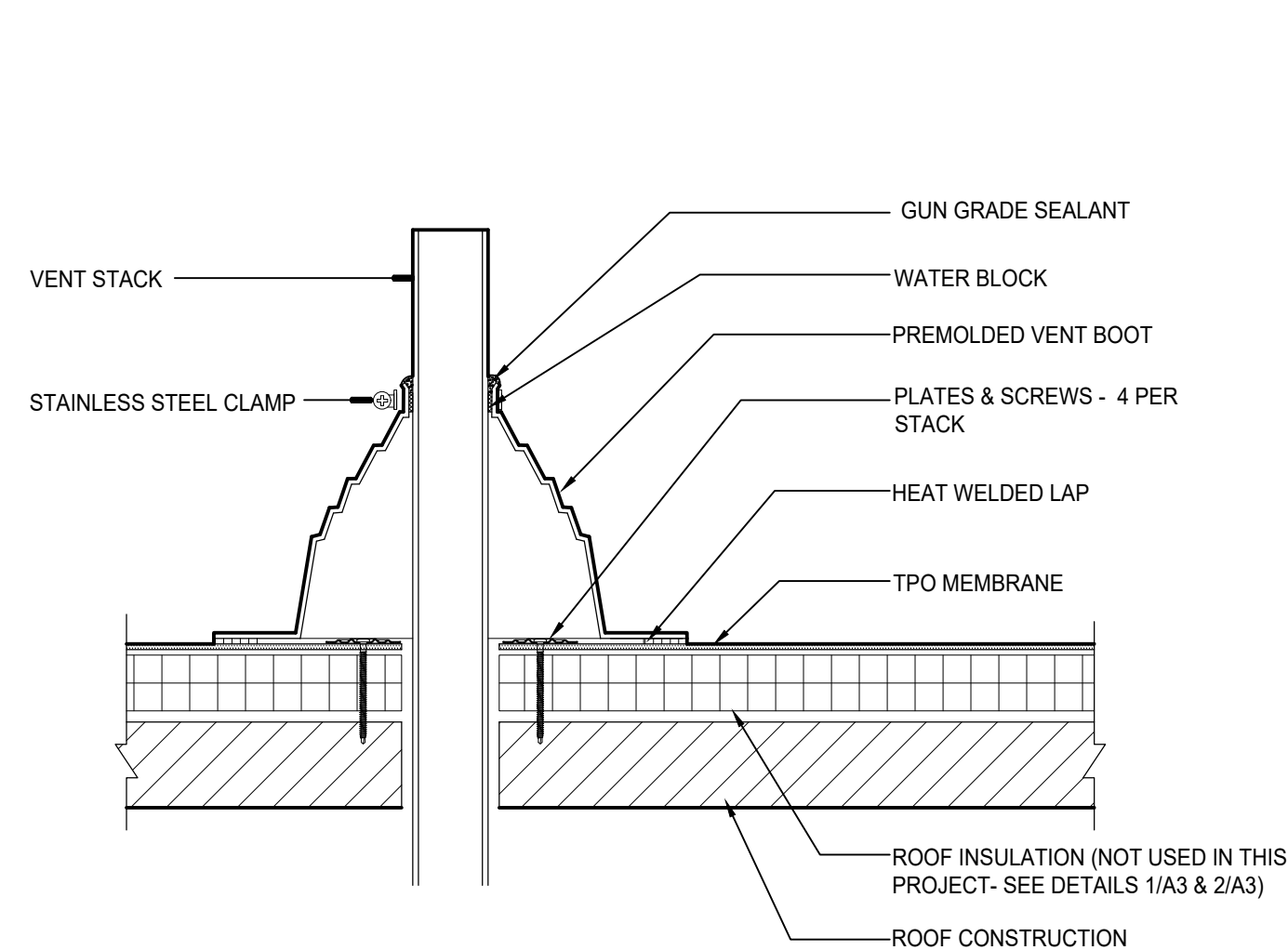
7 ROOF EDGE DETAIL AT GRAVEL STOP

N.T.S.



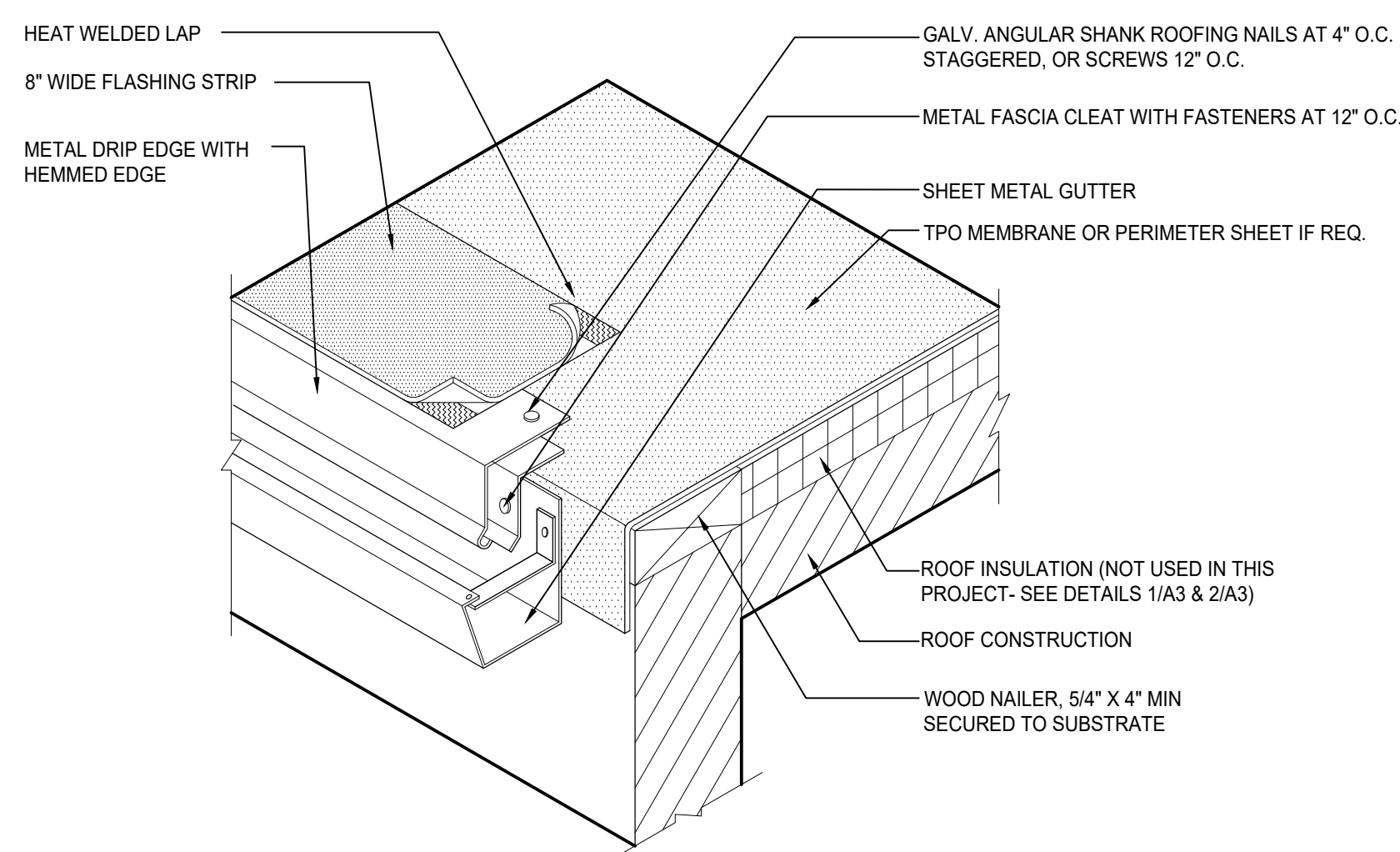
5 MEMBRANE TERMINATION AT PARAPET CAP

N.T.S.



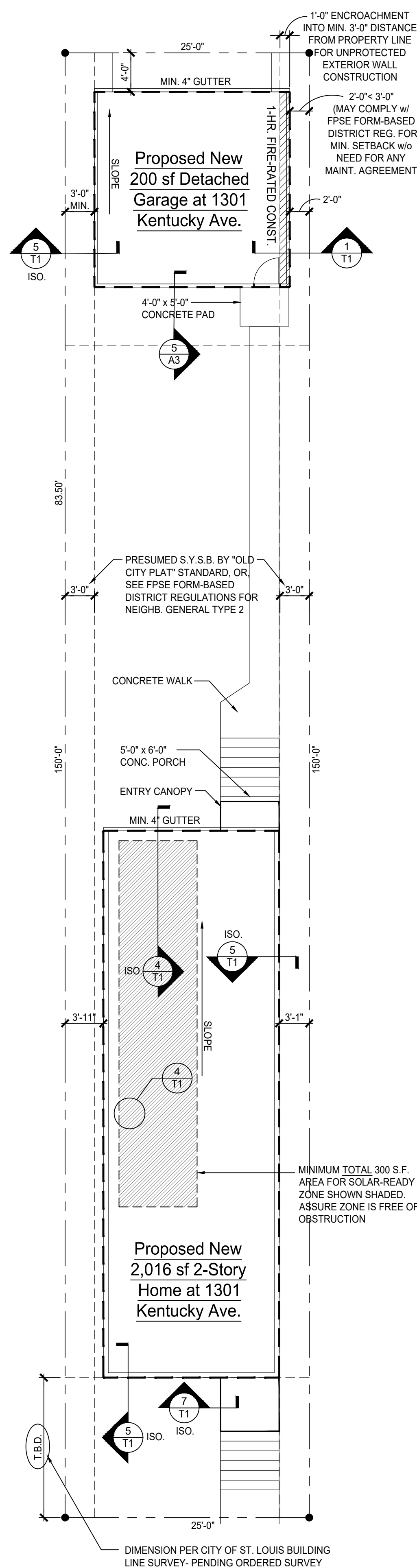
6 VENT PENETRATION DETAIL

N.T.S.



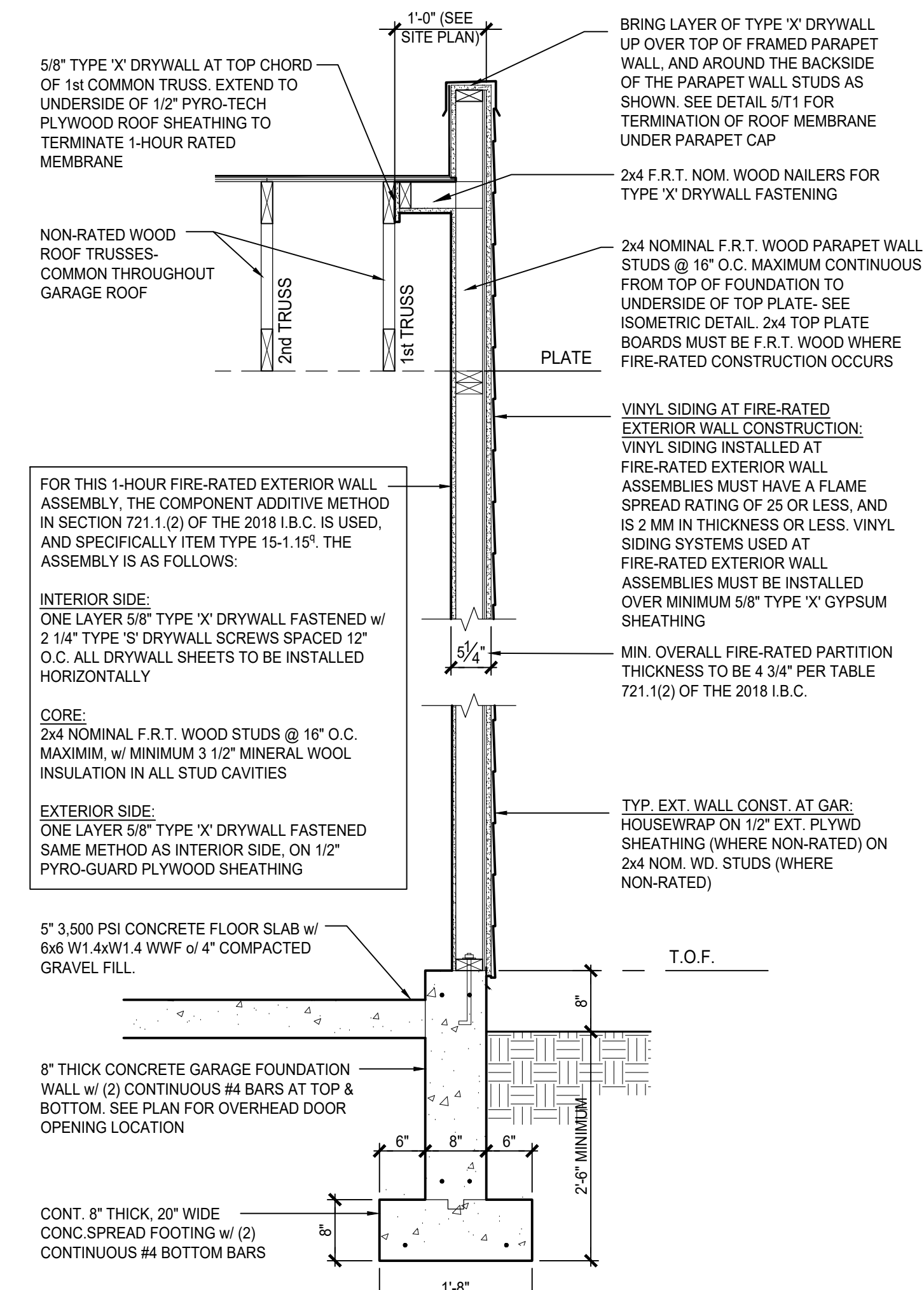
4 ROOF EDGE / GUTTER DETAIL

N.T.S.



2 SITE PLAN

1/8" = 1'-0"



1 1-HR. FIRE-RATED GARAGE WALL SECTION

3/4" = 1'-0"

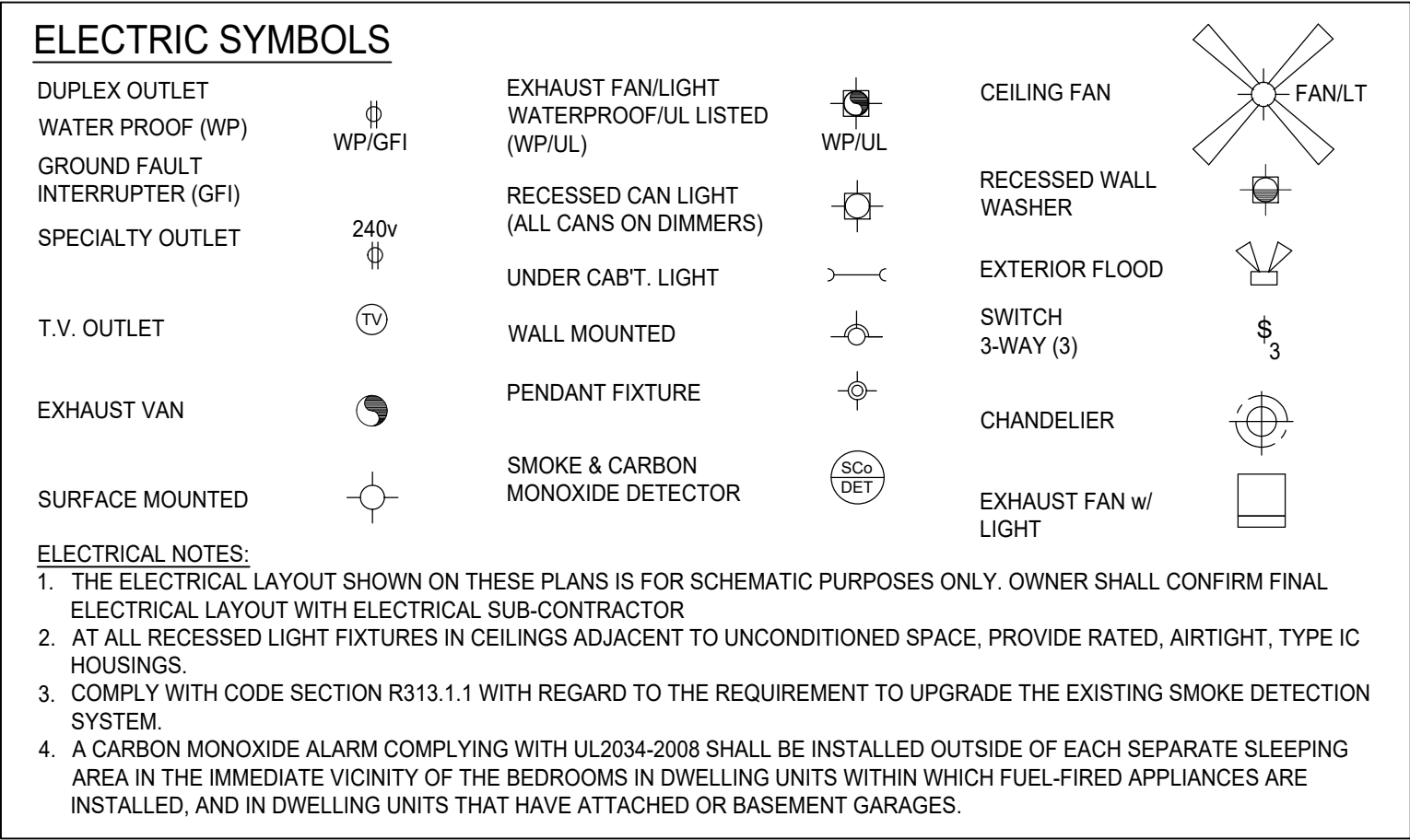
- ROOF & ROOF FRAMING NOTES:**
1. ROOF CONSTRUCTION: 3/4" PLYWOOD W/MTL. PLYCLIPS OVER PREFABRICATED WOOD ROOF PARALLEL CHORD TRUSSES, OR 2x NOM. WOOD FRAMING RAFTERS. REFER TO TRUSS MFR. DESIGN DRAWINGS FOR FINAL LAYOUT @ FRAME MEMBERS.
 2. ALL ROOF TRUSS FRAMING TO SPACED @ 24" O.C. MAXIMUM.
 3. VERIFY THAT INDICATED ROOF PITCHES ARE COORDINATED WITH ALL EXISTING OR PROPOSED NEW WINDOW OPENINGS.
 4. ATTIC VENTILATION REQUIREMENTS: TOTAL SQUARE FOOT OF ATTIC SPACE OVER CONDITIONED SPACE IS APPROX. 1,000 SQUARE FEET. CONTRACTOR TO PROVIDE MINIMUM ONE, ONE HUNDRED FIFTIETH (1 / 150TH) OF THAT SQUARE FOOTAGE IN VENTILATION IF AT SOFFITS ONLY. PROVIDE ONE THREE HUNDREDTH (1 / 300TH) IF PROVIDING VENTILATION BOTH HIGH AND LOW (I.E. ROOF VENTS). CONSULT WITH SOFFIT VENT & ROOF TOP VENT SUPPLIER FOR PRODUCT VENTILATION SPECIFICATIONS.
 5. PROVIDE 'ICE & WATER SHIELD' OR EQUAL EAVE FLASHING TO 24" BEYOND INSIDE FACE OF BEARING WALLS AT PERIMETER. PROVIDE VALLEY FLASHING TO 36" UP EACH ADJACENT ROOF SLOPE BEYOND VALLEY (MAY NOT APPLY TO THIS PROJECT)

NOTE: THIS SITE PLAN REFLECTS LAND SURVEY DATA ON THE LOT LOCATED AT 1301 KENTUCKY AVE. THAT WAS COMPLETED BY ALTEA CONSULTING LAND SURVEYORS, IN JUNE 2023, AND PROVIDED BY THE PROJECT BUILDER, JEFF DAY & ASSOCIATES, LLC. ASSUMES NO RESPONSIBILITY FOR ANY LOT BOUNDARY OR LAND SURVEY DATA AS COLLECTED BY THE SURVEYOR. THE REFLECTED LAND SURVEY DATA ON THIS SITE DIAGRAM IS FOR REFERENCE ONLY. THE PURPOSE OF THIS SITE DIAGRAM IS TO INDICATE THE LOCATION OF THE PROPOSED NEW WORK ON THE RESIDENTIAL PROPERTY.

A New Infill Home at
1301 Kentucky Avenue
St. Louis, Missouri 63110

ISSUE	
NO:	DESCRIPTION:
▲ 12.04.23	ZONING VARIANCE
▲	
▲	
▲	
▲	
DRAWN BY	CHECKED BY
JQW	JQW
DATE	12.04.23
PROJECT #	23 214

T1

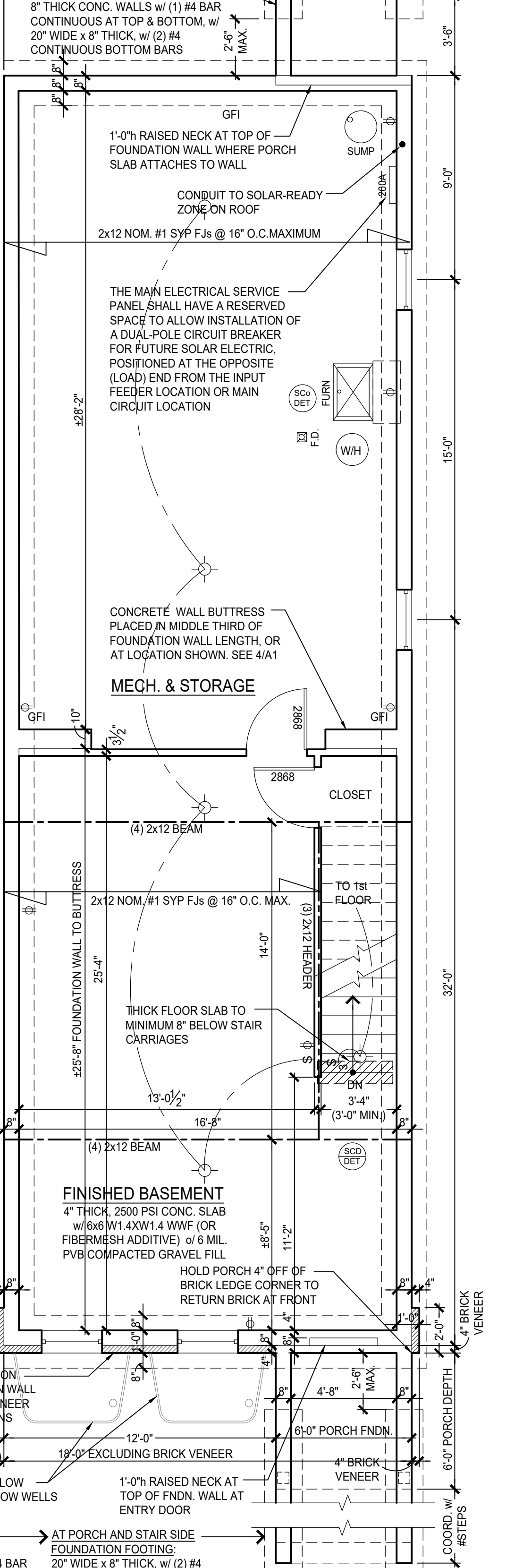
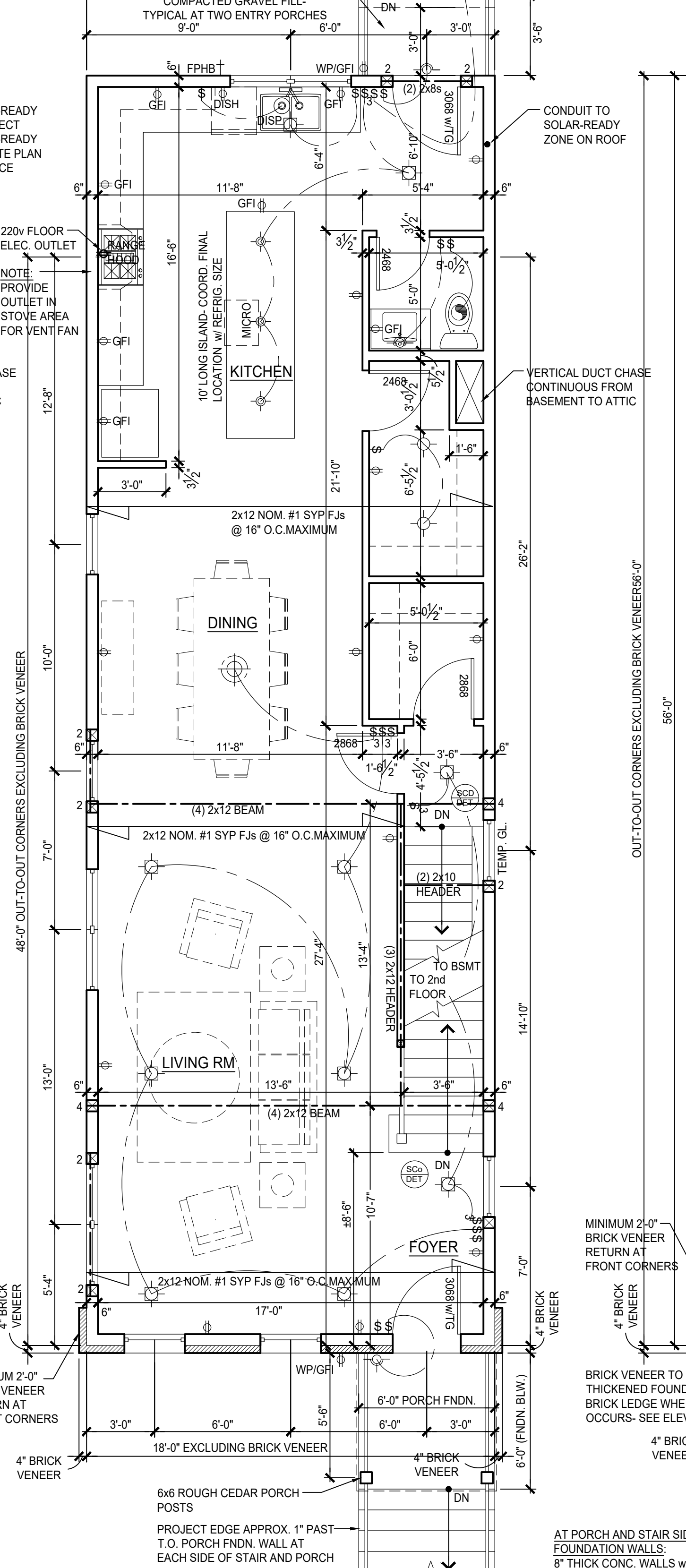
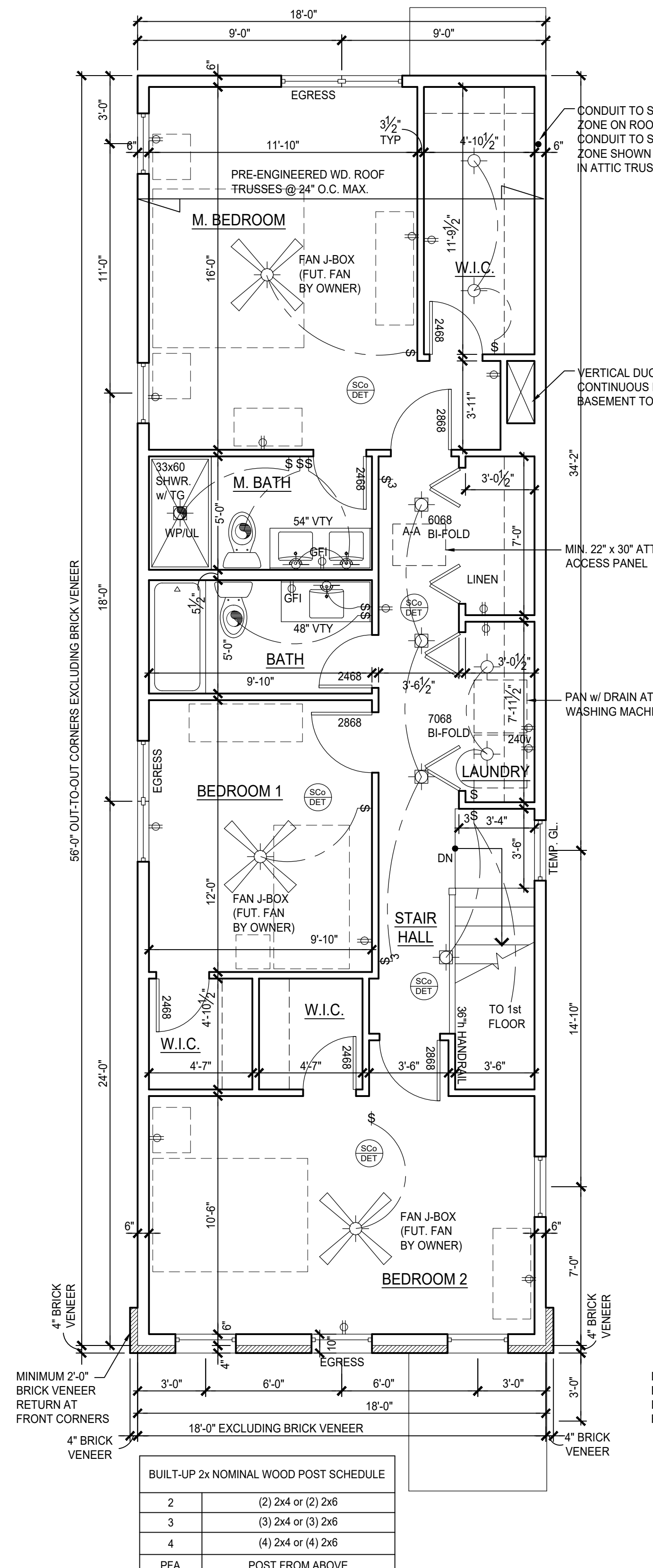
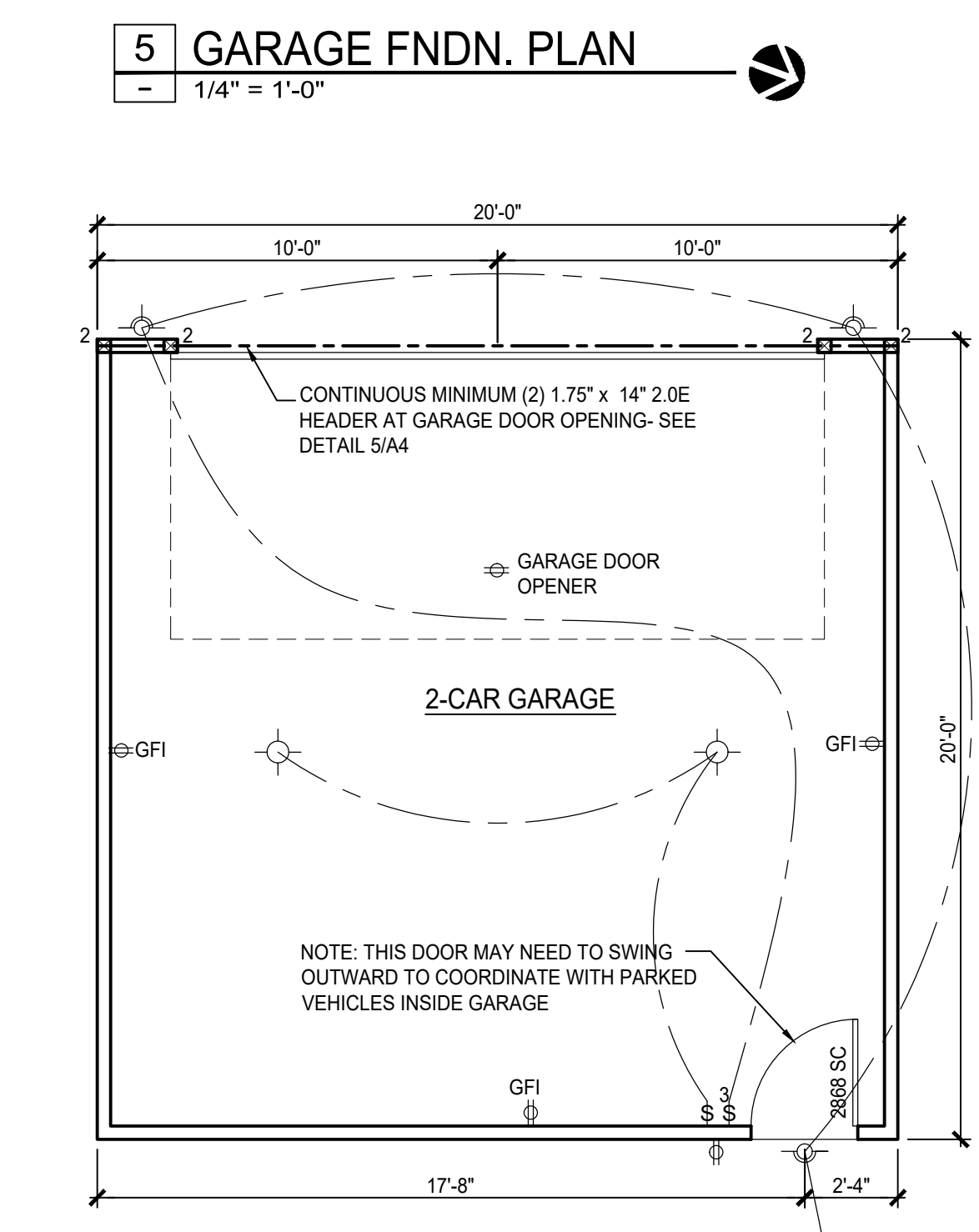
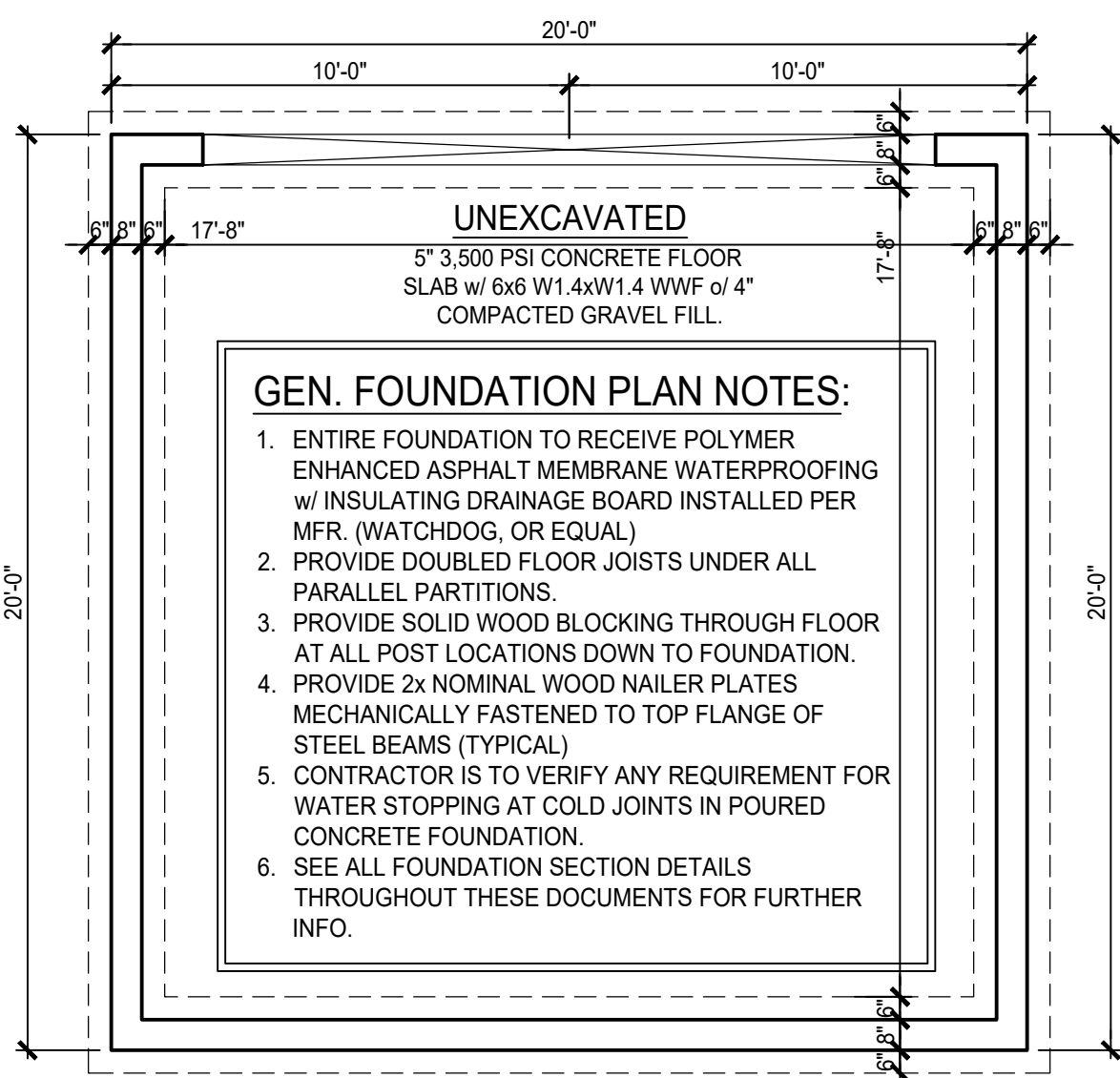
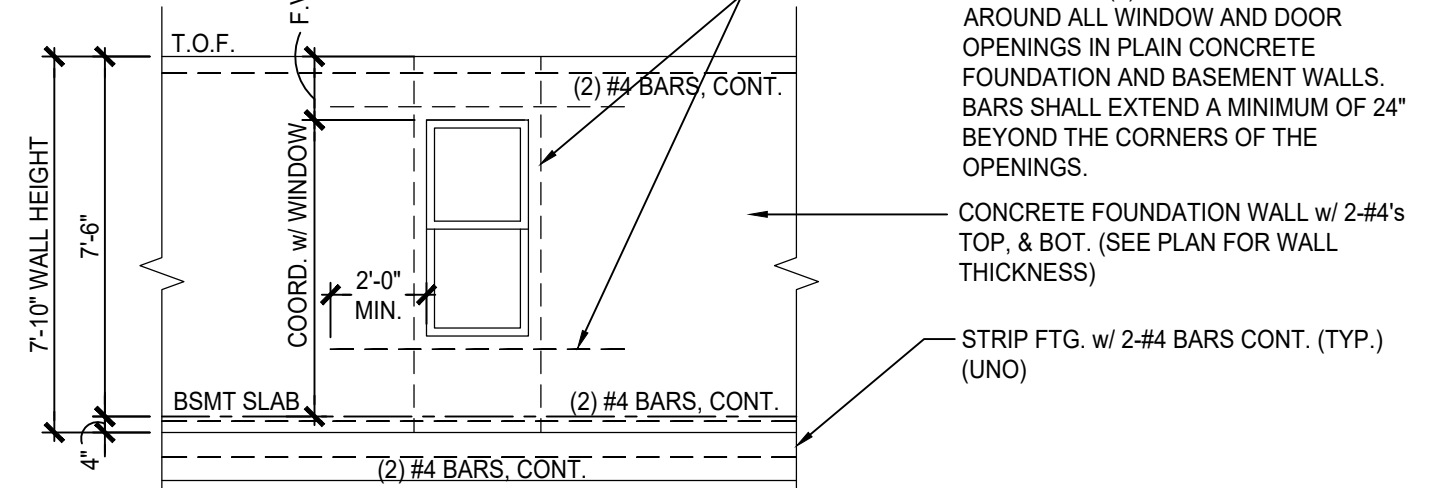
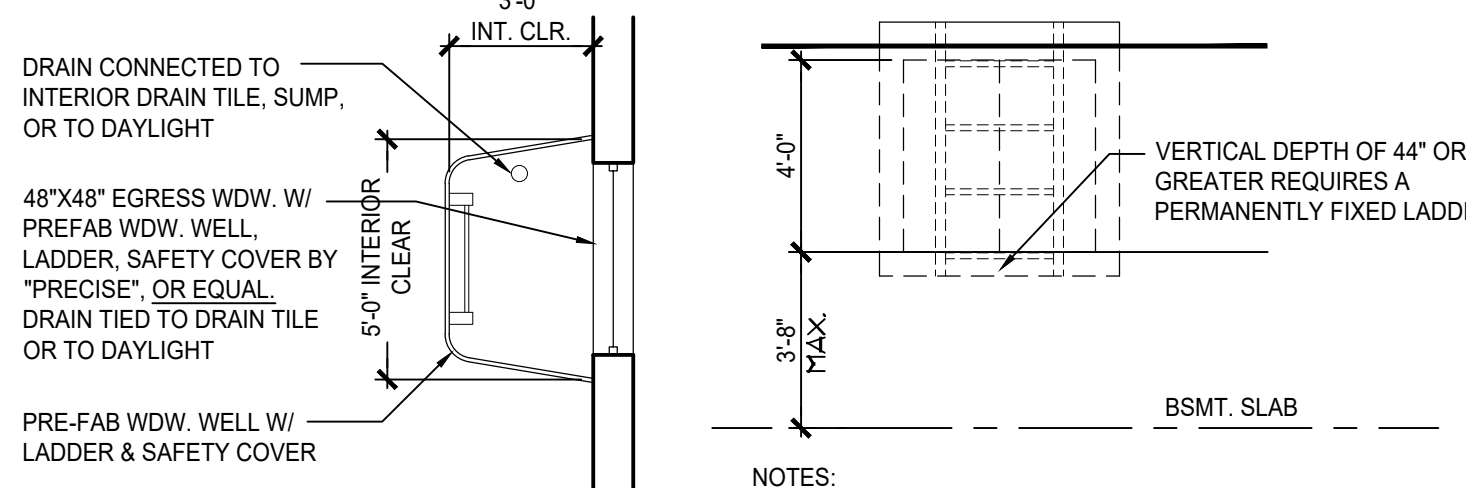


CODES IN EFFECT IN THE CITY OF ST. LOUIS, MISSOURI:
 BUILDING 2018 I.R.C.

GENERAL PLAN NOTES

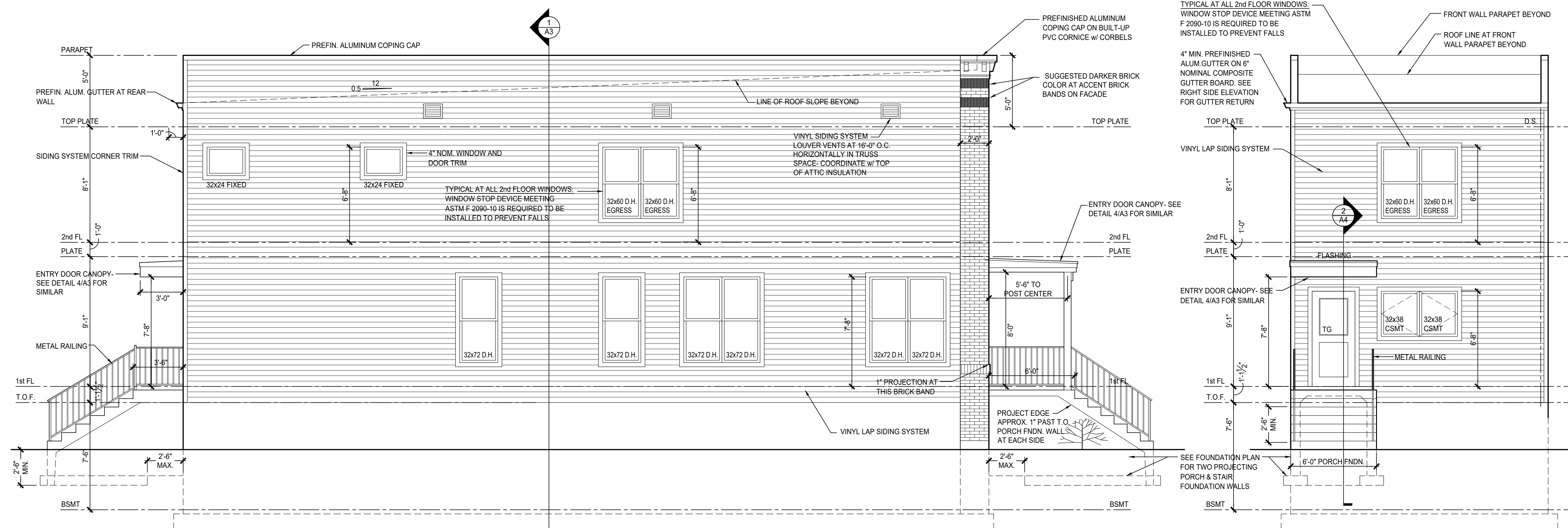
(SEE ALSO: GENERAL FOUNDATION PLAN NOTES)

- WALL FRAMING TO BE 2X6 STUDS, OR 2X4 STUDS WHERE NOTED.
- ALL PLUMBING LAYOUT & FIXTURES SHOWN ON THESE PLANS INDICATE GENERAL LAYOUT & QUANTITY ONLY. FINAL PIPING INCLUDING WATER AND SEWER AND ELECTRICAL SHALL SERVICE ALL PLUMBING SHOWN ON PLANS. ALL WORK SHALL BE COMPLETED IN FULL COMPLIANCE WITH ALL STATE & LOCAL CODES.
- POSTS: 2-2X'S UNLESS NOTED OTHERWISE. REFER TO BUILT-UP 2X NOMINAL WOOD POST SCHEDULE ON FLOOR PLANS.
- PROVIDE SOLID WOOD BLOCKING THROUGH FLOOR AT ALL POSTS TO STRUCTURE BELOW.
- PROVIDE GREEN BOARD OR WATER RESISTANT GYPSUM DRYWALL AT ALL WALL BEAMS.
- INSTALL DRYWALL FURRING AS REQUIRED TO CONCEAL ALL PIPES, DUCTS, ETC.
- ALL DIMENSIONS ARE APPROXIMATE, AND WILL NEED FIELD VERIFY PRIOR TO FINAL CABINETS & FIXTURE LAYOUTS.
- BEAMS AND HEADERS: 2-2x10'S UNLESS NOTED OTHERWISE. (ALL OPENINGS ARE TO RECEIVE HEADERS OR BEAMS).
- FIRE BLOCKING IS REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP OF BOTTOM OF THE RUN. ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" GYPSUM BOARD.
- ALL DRYWALL INCLUDING BUT NOT LIMITED TO CEILINGS AND WALLS SHALL BE HUNG WITH MIN. 1 1/2" DRYWALL SCREWS.
- THE ARCHITECT AND THE ARCHITECT'S EMPLOYEES AND CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING, BUT NOT LIMITED TO, ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES. REFER TO GENERAL SPECS. FOR ADDITIONAL PROJECT CRITERIA.



A New Infill Home at
1301 Kentucky Avenue
 St. Louis, Missouri 63110

ISSUE	
NO.	DESCRIPTION:
12.04.23	ZONING VARIANCE
DRAWN BY: JQW	
CHECKED BY: JQW	
DATE: 12.04.23	
PROJECT #: 23 214	



3 EAST ELEVATION

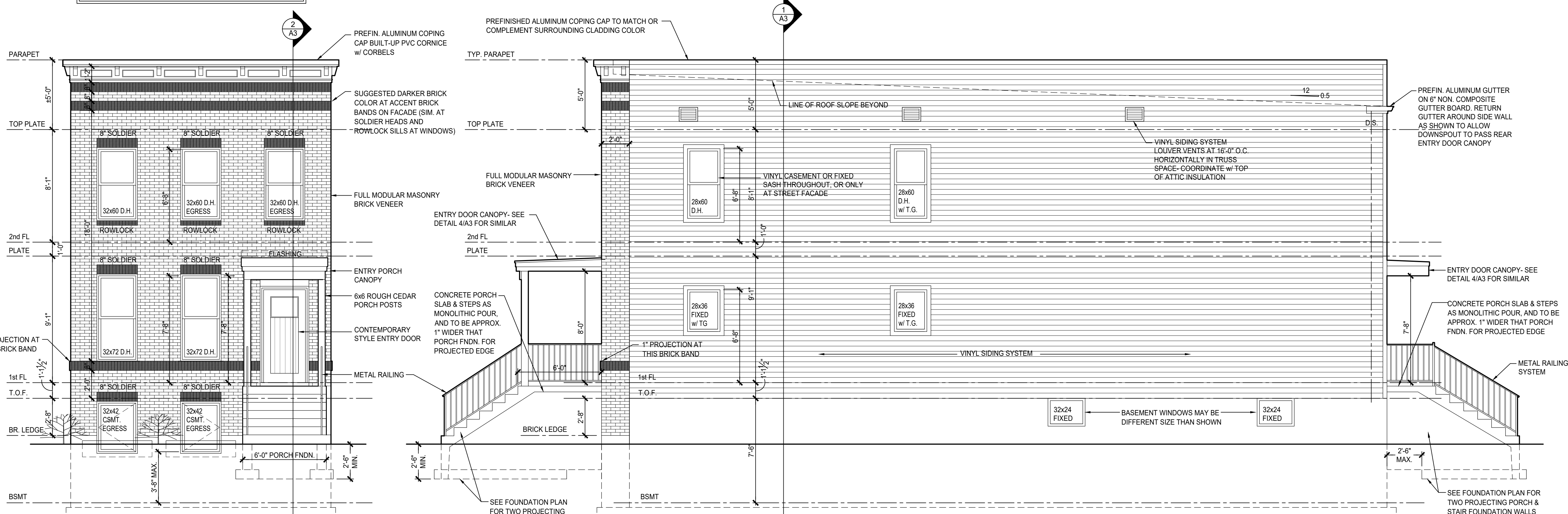
1/4" = 1'-0"

2 SOUTH ELEVATION

1/4" = 1'-0"

STEEL LINTELS SHALL BE PROVIDED WHERE REQ'D AS FOLLOWS:

- L3 1/2 x 3 3/8 x 5/16 FOR OPENINGS UP TO 4'-6"
- L5 3 3/8 x 5/16 FOR OPENINGS 4'-6" TO 8'-0"
- L6 3 3/8 x 5/16 FOR OPENINGS 8'-0" TO 9'-6"
- L7 4 x 3/8 FOR OPENINGS 9'-6" TO 16'-0", BUT MAXIMUM 12'-0" OF BRICK ABOVE OPENING



4 FRONT ELEVATION

1/4" = 1'-0"

1 RIGHT SIDE ELEVATION

1/4" = 1'-0"

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A2

ELECTRIC SYMBOLS

DUPLEX OUTLET
 WATER PROOF (WP)
 GROUND FAULT INTERRUPTER (GFI)
 SPECIALTY OUTLET
 T.V. OUTLET
 EXHAUST VAN
 SURFACE MOUNTED

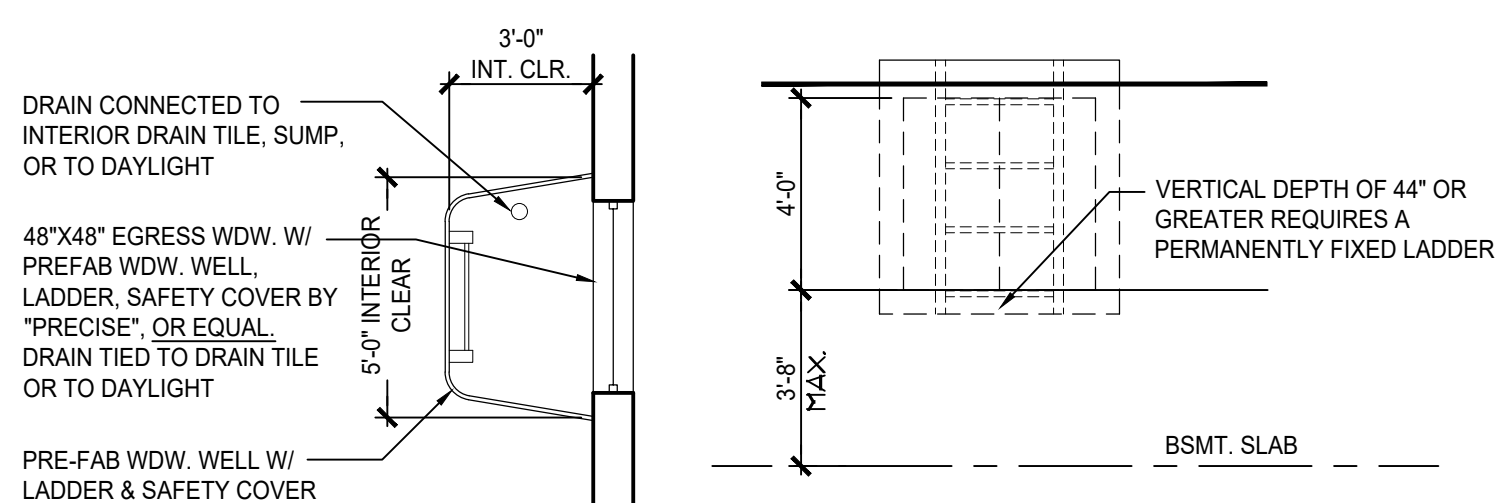
EXHAUST FAN/LIGHT WATERPROOF/UL LISTED (WP/UL)
 RECESSED CAN LIGHT (ALL CANS ON DIMMERS)
 UNDER CABT. LIGHT
 WALL MOUNTED
 PENDANT FIXTURE
 SMOKE & CARBON MONOXIDE DETECTOR

CEILING FAN
 RECESSED WALL WASHER
 EXTERIOR FLOOD
 SWITCH 3-WAY (3)
 CHANDELIER
 EXHAUST FAN w/ LIGHT

- ELECTRICAL NOTES:**
- THE ELECTRICAL LAYOUT SHOWN ON THESE PLANS IS FOR SCHEMATIC PURPOSES ONLY. OWNER SHALL CONFIRM FINAL ELECTRICAL LAYOUT WITH ELECTRICAL SUB-CONTRACTOR
 - AT ALL RECESSED LIGHT FIXTURES IN CEILINGS ADJACENT TO UNCONDITIONED SPACE, PROVIDE RATED, AIRTIGHT, TYPE IC HOUSINGS.
 - COMPLY WITH CODE SECTION R313.1.1 WITH REGARD TO THE REQUIREMENT TO UPGRADE THE EXISTING SMOKE DETECTION SYSTEM.
 - A CARBON MONOXIDE ALARM COMPLYING WITH UL2034-2008 SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED, AND IN DWELLING UNITS THAT HAVE ATTACHED OR BASEMENT GARAGES.

GENERAL PLAN NOTES

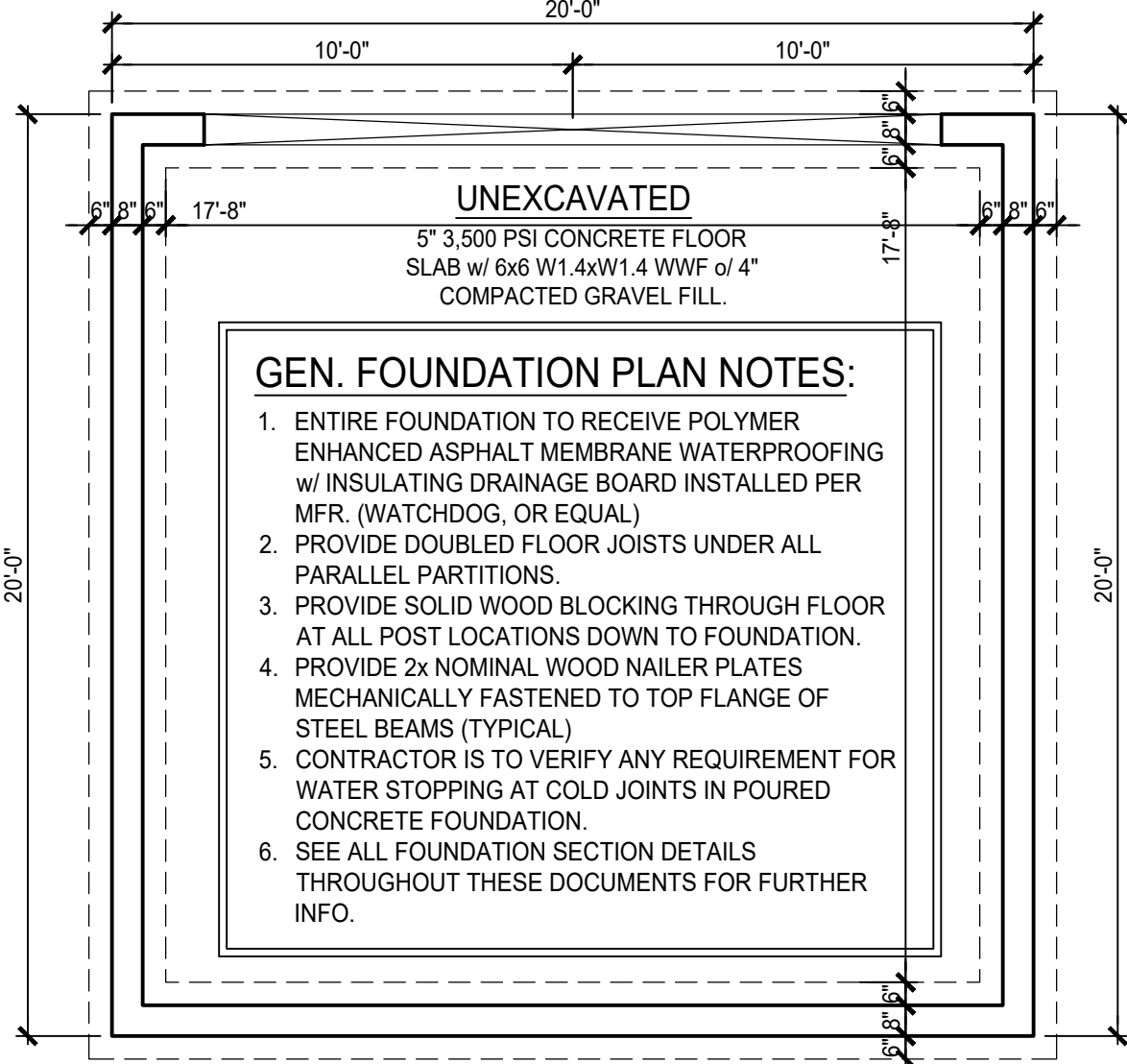
- (SEE ALSO: GENERAL FOUNDATION PLAN NOTES)
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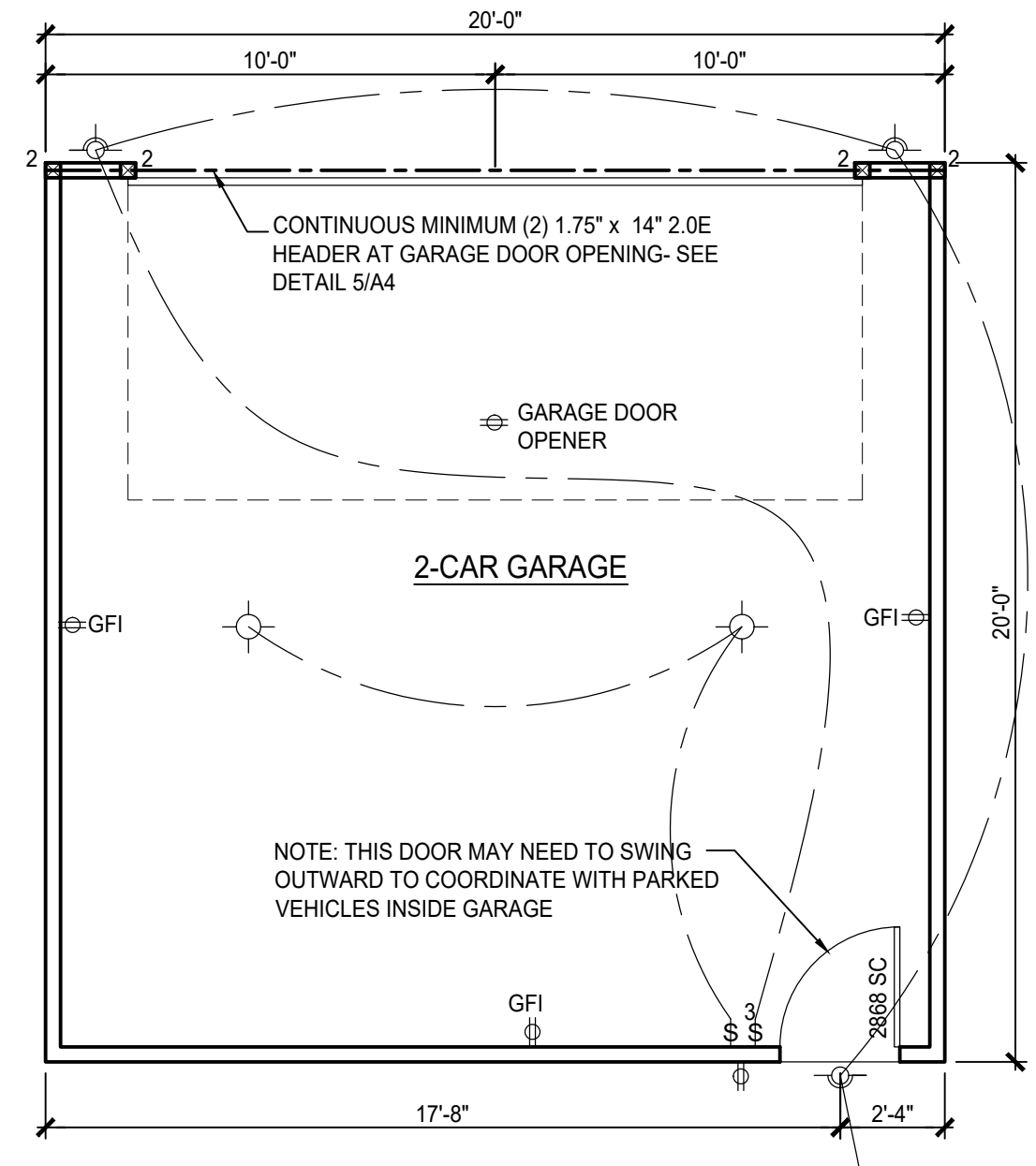
4 EGRESS WINDOW PLAN & ELEVATION DETAIL
- 1/4" = 1'-0"

1 TYP. CONC. WALL REINF. @ OPENINGS IN FNDN. WALLS
- 1/4" = 1'-0"

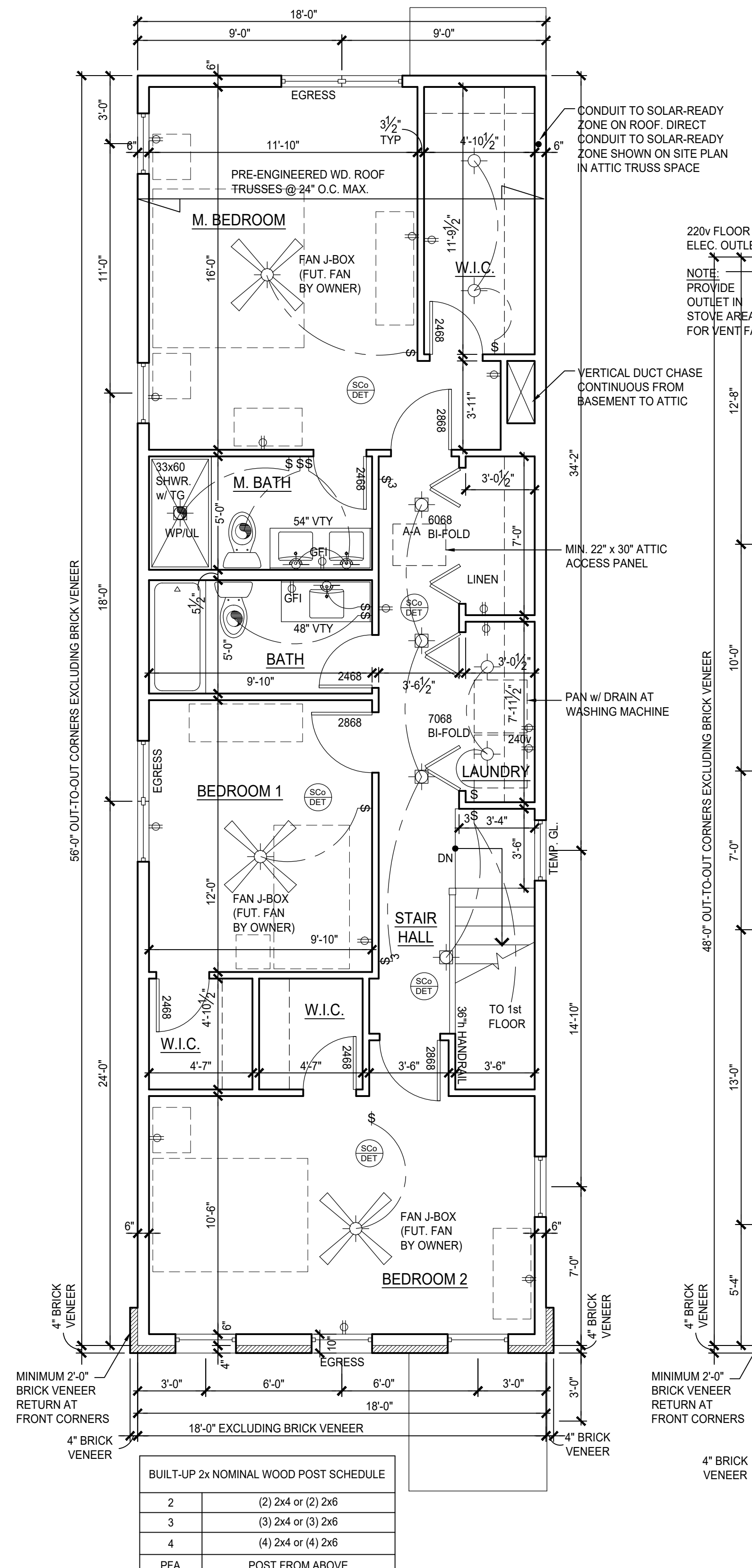
CODES IN EFFECT IN THE CITY OF ST. LOUIS, MISSOURI:
BUILDING 2018 I.R.C.



5 GARAGE FNDN. PLAN
- 1/4" = 1'-0"



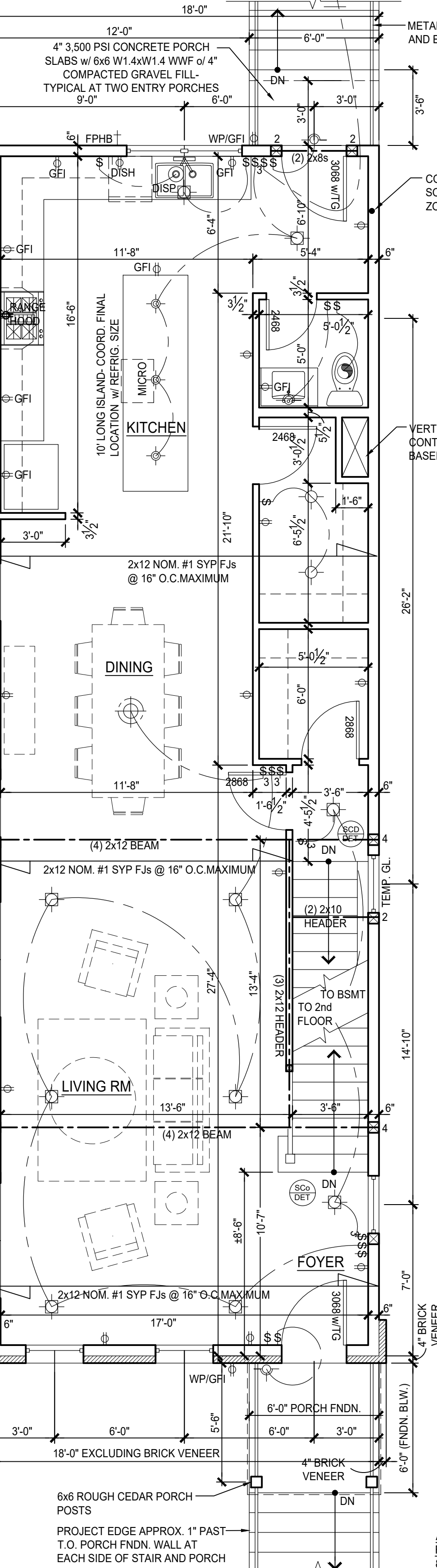
4 GARAGE FLOOR PLAN
- 1/4" = 1'-0"



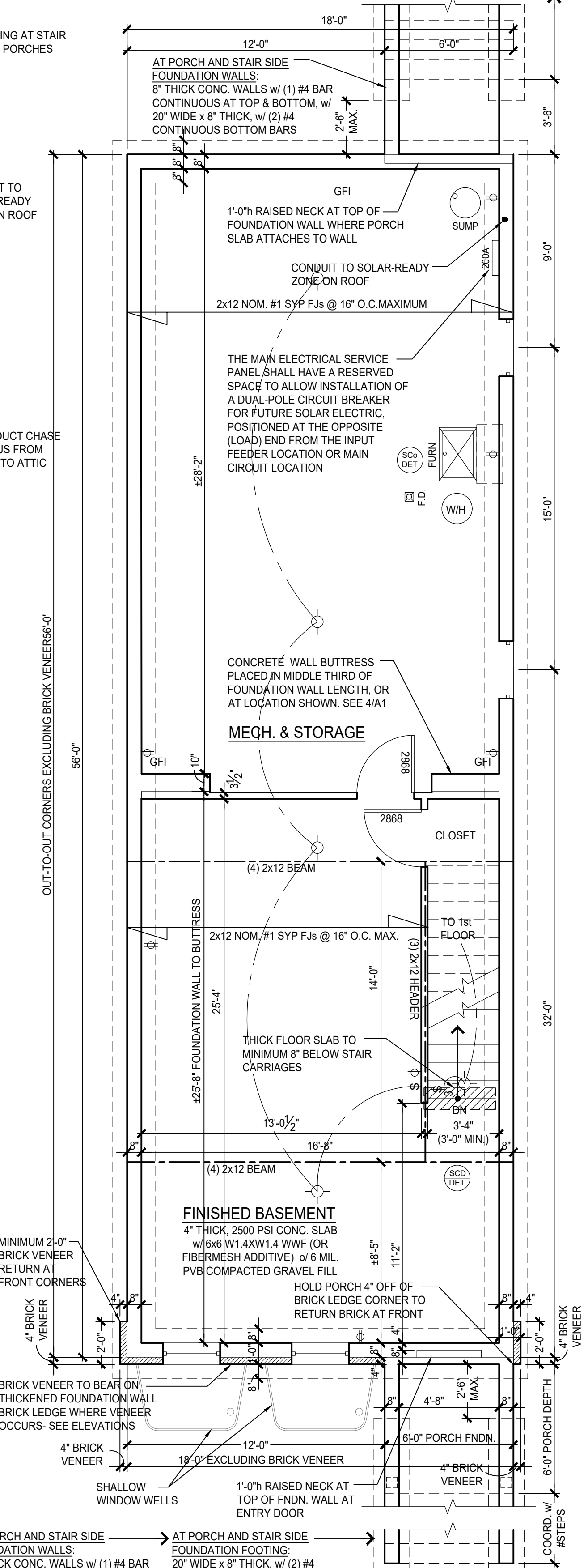
BUILT-UP 2x NOMINAL WOOD POST SCHEDULE

2	(2) 2x4 or (2) 2x6
3	(3) 2x4 or (3) 2x6
4	(4) 2x4 or (4) 2x6
PFA	POST FROM ABOVE

3 2nd FLOOR PLAN
- 1/4" = 1'-0"



2 1st FLOOR PLAN
- 1/4" = 1'-0"



1 BASEMENT PLAN
- 1/4" = 1'-0"

JD&A ARCHITECTURE

14311 Manchester Road
Manchester, Missouri 63011

John O. Wimmer - Architect
A-201021402

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1301 Kentucky Avenue
St. Louis, Missouri 63110

ISSUE

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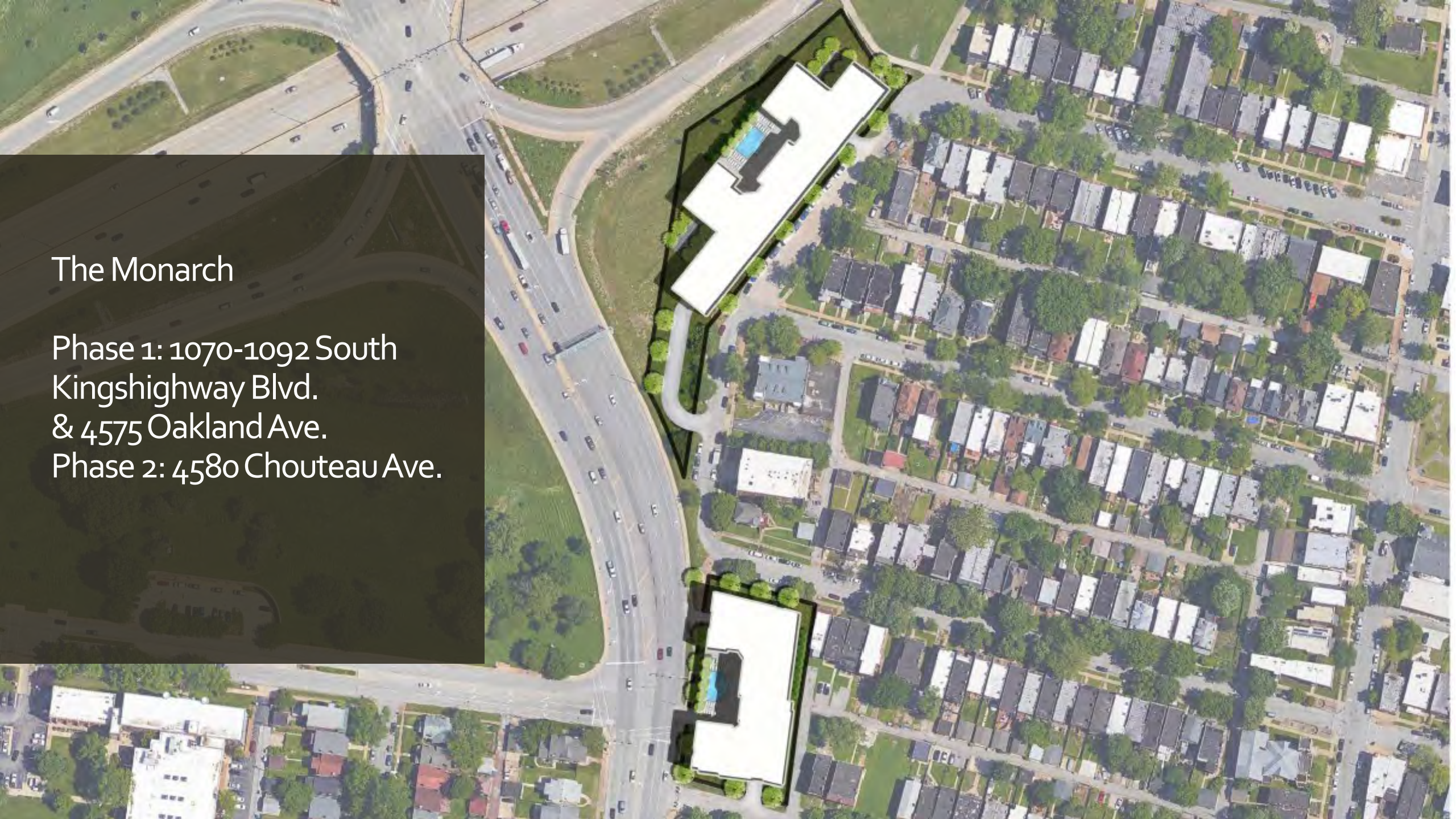
DRAWN BY JQW **CHECKED BY** JQW

DATE 12.04.23

PROJECT # 23 214

The Monarch

Phase 1: 1070-1092 South
Kingshighway Blvd.
& 4575 Oakland Ave.
Phase 2: 4580 Chouteau Ave.



Project Description

- **Property Owner: NorthPoint Development**
- **Contact Person(s): Mark Militzer**
- **Mailing Address: 12977 North Outer Forty, St. Louis, MO 63141**
- **Company Owners / Principals: Nathaniel Hagedorn**

Project Information

Costs for Entire Project

- Acquisition: \$5,764,000
- Pre-development Soft Cost: \$4,921,650
- Construction Cost: \$100,31,350
- Total: \$111,000,000
- Financial incentives being sought with SLDC

Timeline for Project 1:

- Site Control: Complete
- Construction Start: Spring, 2024 (Demolition); Q3 2024
- Construction Complete: Q4, 2025
- Occupancy: Spring, 2026

Phase 1

- Residential Buildings: 140 Units
- Parking: 140 Spaces

Project Description: Phase 1

- **Description of Project & History of Site:**
 - The Phase 1 site is currently owned by a partnership between residents Derek and Toni Zimmerman, and NorthPoint Development.
 - Situated at the intersection of South Kingshighway Blvd. and Oakland Ave., the site consists of seven homes that have been vacant for several years.
 - At this point, the buildings require environmental remediation and emergency demolition. Previously the site had been proposed as a hotel, and most recently a multifamily project.



Site Plan for Phase 1

Project Information: Phase 1

- 140 residential units: studio through two-bedroom
- Amenities like swimming pool, fitness deck and other potential ideas
- Total sq. ft. of the project footprint: 32,000 sq. ft. (on a 1-acre parcel)
- 140 parking spaces: below-grade parking garage and covered at-grade lot

Project Information: Exterior Building Material

- The projects utilize brick, stucco, cementitious siding, and various metals in both louvers and accents.
- Multiple textures and materials are depicted which add depth and a complimentary color pallet for this building reflective of the surrounding neighborhood character.
- The interior units include quartz countertops with tile backsplash, energy efficient stainless-steel appliances, modern cabinetry, simulated wood plank flooring, and LED lighting throughout the building.

Requested Variances

The project is seeking support for variances to the FPSE Form-Based Code overlay zoning district. This District is **Neighborhood Core**. While still subject to formal zoning review, anticipated variances include:

- 4-49): We request a variance for the parapet walls to be made of secondary materials in lieu of primary materials (i.e. brick).
- **Vertical Plane Break in Primary Building Facade:** (Section 4.0-4.3.1, B-1 D, page 4-42): We would like to confirm that our pool area vertical break meets this requirement
- **Side Setback 30' Minimum:** for Stories 4 and Greater, when sharing setback with NG2 lots, (Section 3.0-3.5, III C2, page 3-20): We would like to request a variance to remove this requirement or allow encroachment into setback zone. The building vertical plane will be continuous on all floors.
- **Alley Setback 30' Minimum:** for Stories 4 or Greater, (Section 3.0-3.5, III D2, page 3-20): We would like to request a variance to remove this requirement or allow encroachment into setback zone. The building vertical plane will be continuous on all floors.

Requested Variances

The project is seeking support for variances to the FPSE Form-Based Code overlay zoning district. This District is **Neighborhood Core**. While still subject to formal zoning review, anticipated variances include:

- **Finished Ground Floor Level:** (Section 3.0-3.5, IV L, page 3-20): We would like to confirm the residential leasing office may fall between 0-3' above proposed exterior grade at points of entry. Confirm buildings may have exposed foundation as necessary to accommodate grade change across a site.
- **Required Parking Spaces:** (Section 3.0-3.5, VII, page 3-21): We would like to request a variance to increase parking maximums to 1.7 stalls per DU.
- **Alley Encroachments:** (Section 3.0-3.5, VI Q, page 3-21): We would like to request a variance to increase alley encroachment maximums to 6' to accommodate balconies as needed.
- **Access:** (Section 4.05, III, page 4-21): We would like to request a variance for Phase 1 to have car ingress/egress from South Kingshighway Blvd. and Oakland Ave. An alley is currently present in which the form based code dictates parking and service are accessed from such.



Existing Conditions: Phase 1



M
MONARCH

RESIDENT GARAGE ENTRANCE



LOWER LEVEL GARAGE PARKING

MONARCH APARTMENTS PHASE 1 ELEVATIONS

*Requesting one (1) Use Variance for parapet walls to be made out of secondary material (fiber cement siding) [Section 4.3.2 (B.2.d.i)]

MATERIAL FINISH LEGEND

DESIGNATION	MATERIAL	COLOR
BR1	Brick	Red
BR2	Brick	Tan
SD1	Fiber Cement Siding	COLOR 1
SD2	Fiber Cement Siding	COLOR 2
SD3	Fiber Cement Siding	COLOR 3
ML	Pre-Finish Metal Louvers	Gray



4 EAST ELEVATION
1/16" = 1'-0"



3 NORTH ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"



+/- 75 TOTAL PARKING SPACES

FIRST FLOOR - PARKING PLAN
1/16" = 1'-0"



+/- 82 SPACES

BASEMENT FLOOR - PARKING PLAN
1/16" = 1'-0"

Parking (at-grade and below-grade)

Project Information: Phase 2

PHASE 2



Project Description: Phase 2

- **Description of Project & History of Site:**

- The Phase 2 site is situated along South Kingshighway Blvd. between Chouteau Ave. and Gibson Ave. Owned for years by Washington University. Developer has site control.
- This area remains undeveloped land with no improvements to the site. The site is a remnant of the I64/Hwy 40 improvements of 2007, where a clover leaf off ramp and on ramp were demolished.
- A portion of the site is used as a walkway from the pedestrian bridge at Chouteau to Clayton Ave as seen from the worn-down grass.

Project Information

Costs for Entire Project

- Acquisition: \$5,764,000
- Pre-development Soft Cost: \$4,921,650
- Construction Cost: \$100,31,350
- Total: \$111,000,000
- Project Sq ft: 135,000

Timeline for Project 2:

- Site Control: Complete
- Construction Start: Spring, 2025
Construction Complete: Spring, 2027
- Occupancy: Spring, 2027

Project Information: Phase 2

- 179 residential units: studio through two-bedroom
- 216 parking spaces: below-grade parking garage and covered at-grade lot

Requested Variances Phase II

The project is seeking support for variances to the FPSE Form-Based Code overlay zoning district. This District is **Neighborhood Core**. While still subject to formal zoning review, anticipated variances include:

- **Side Setback 10' Maximum:** (Section 3.5-, III, page 1-42): Would like to request to decrease side setback up to 7.5". One small corner adjacent to the MoDOT ROW is +/-8' from property line
- **Finished ground floor level:** Potential variance requested (Section 3.5, VII, page 3-20): Along Chouteau: Does comply. Building finish floor proposed at 519.00. Sidewalk ranges from 518.50 to 518.75. Note that proposed sidewalk is elevated from street level at northeast corner of building. ☐ Along southwest and northwest sides: Does not apply, this is MoDOT ROW, no sidewalks or adjacent lots. ☐ Along northeast (platted parcel owned by MoDOT). I'm not sure how this would be evaluated. Technically, the grades at the pedestrian overpass walkway range from 515.5 to 522, which is also generally the grades at the lot lines.

Requested Variances Phase II

The project is seeking support for variances to the FPSE Form-Based Code overlay zoning district. This District is **Neighborhood Core**. While still subject to formal zoning review, anticipated variances include:

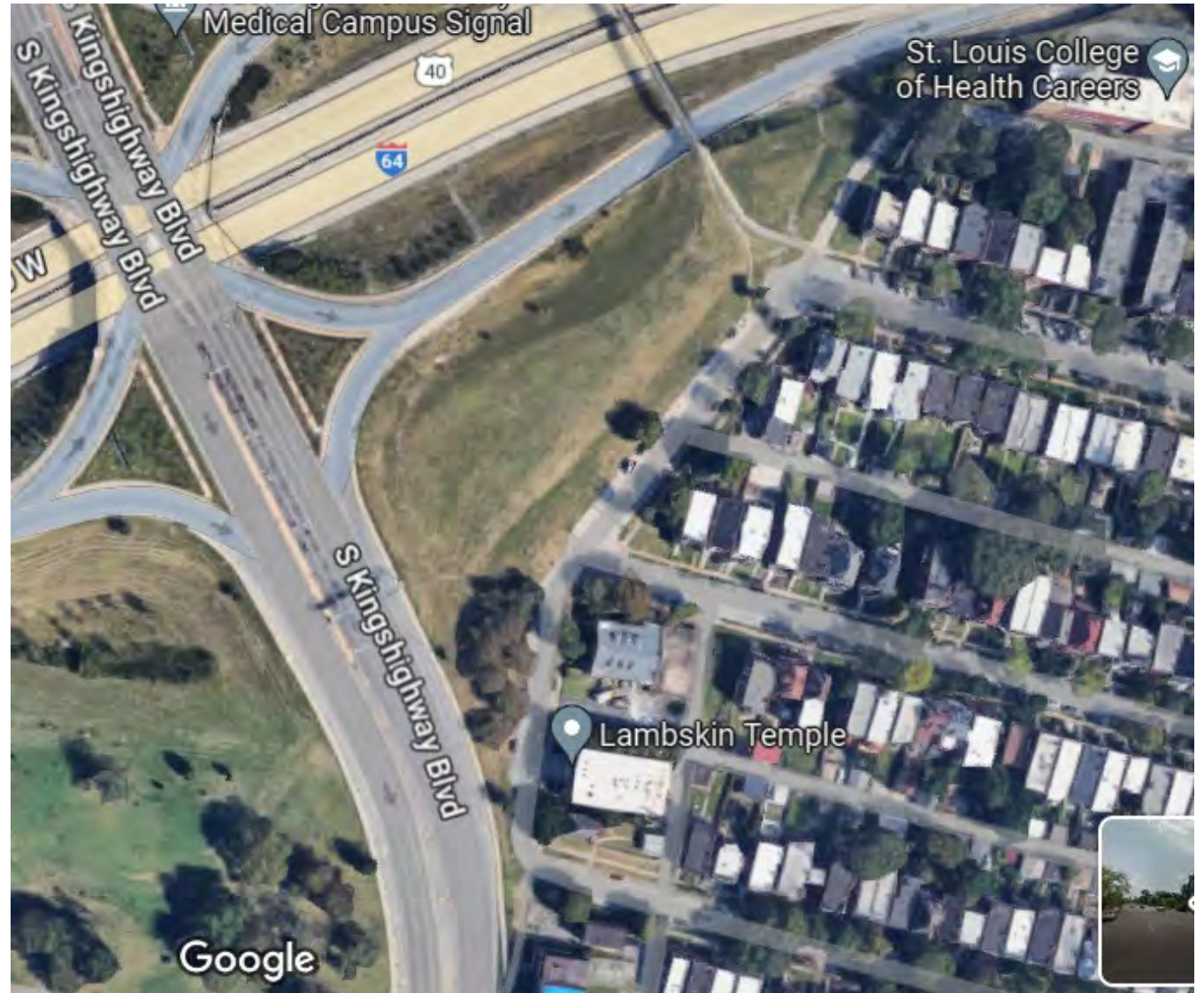
- **Required Parking Spaces:** (Section 3.5, VII, page 3-21): Would like to request a variance to be a 1.2 spaces per dwelling unit. We are proposing (216) total parking spaces and (179) dwelling units.
- **Access:** (Section 4.1.9, page 3-21): Would like to request a variance to allow overhead doors for the garage to be permitted on the Primary Street (South Kingshighway).
- **Podium Building:** (Section 4.3.1, page 4-21): Would like to request a variance for the Vertical Plan Breaks to be pop out architectural features on floors 2-6 in lieu of being set back per Section 1.0 – General Provisions

Requested Variances Phases II

The project is seeking support for variances to the FPSE Form-Based Code overlay zoning district. This District is **Neighborhood Core**. While still subject to formal zoning review, anticipated variances include:

- **Parapet Walls:** (Section 4.3.2, III, page 4-21): Would like to request a variance that the parapet walls be made from secondary materials.
- **Parapet Walls:** (Section 4.3.2, III, page 4-21): Would like to request a variance that the parapet walls shall have a distinct shape or profile.
- **Windows and Doors:** (Section 4.3.3, II, page 4-21): Would like to request a variance to allow for the horizontal dimension to exceed the vertical dimension for window types C, D, F, H and SF.

Aerial View Phase 2





Aerial View Phase 2

MONARCH APARTMENTS PHASE 2 ELEVATIONS

*Requesting one (1) Use Variance for parapet walls to be made out of secondary material (fiber cement siding) [Section 4.3.2 (B.2.d.i)]

MONARCH APARTMENTS



A OLD S KINGSHIGHWAY ELEVATION



C NORTHEAST ELEVATION



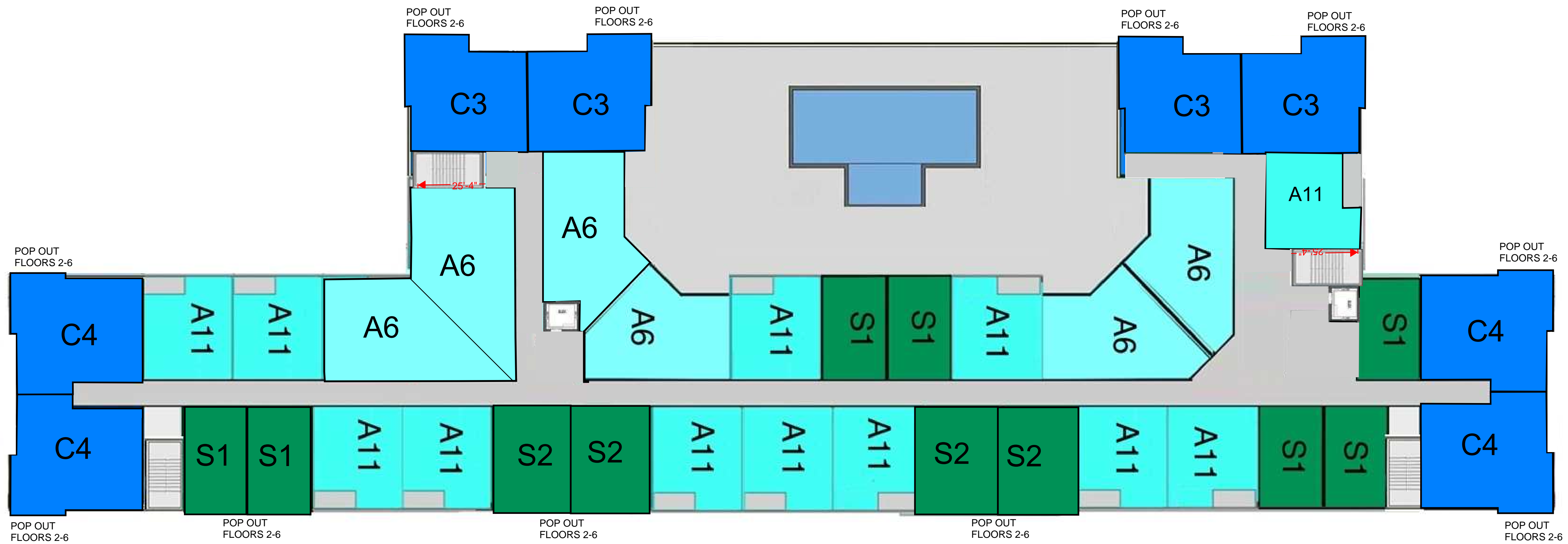
B KINGSHIGHWAY ELEVATION



D SOUTHWEST ELEVATION





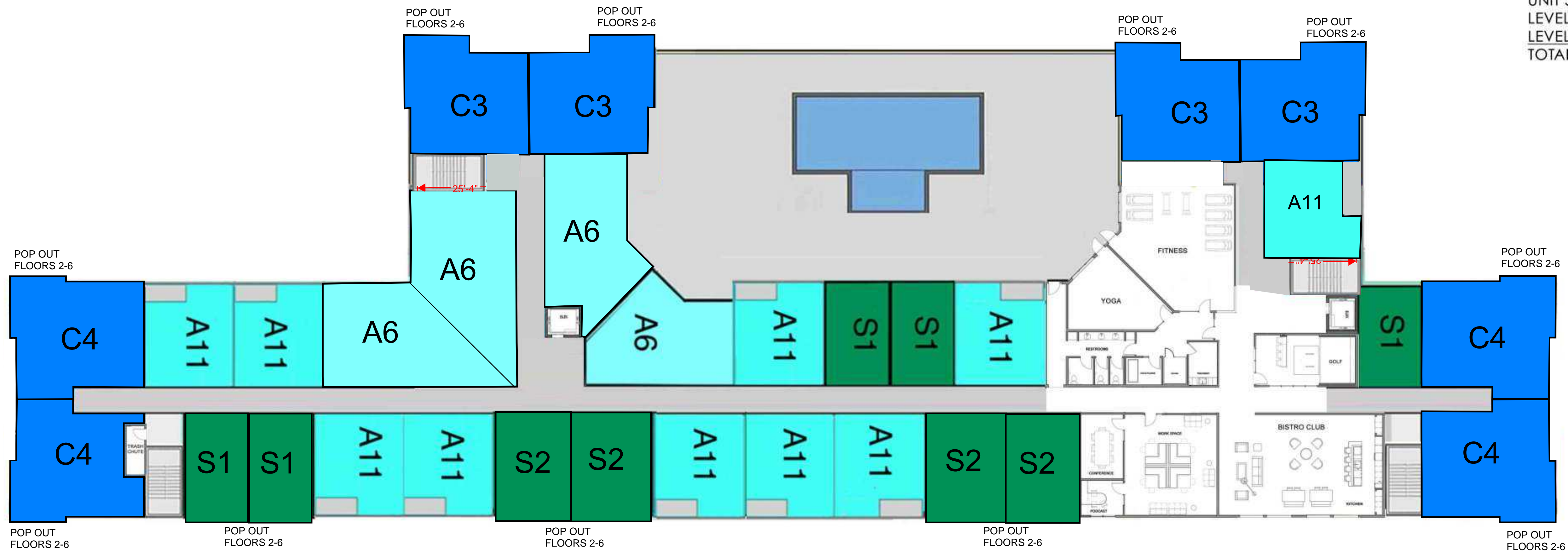


3RD-6TH FLOOR PLAN
1/16" = 1'-0"

UNIT SUMMARY:

LEVEL 2	31
LEVEL 3-6	148
TOTAL UNITS	179

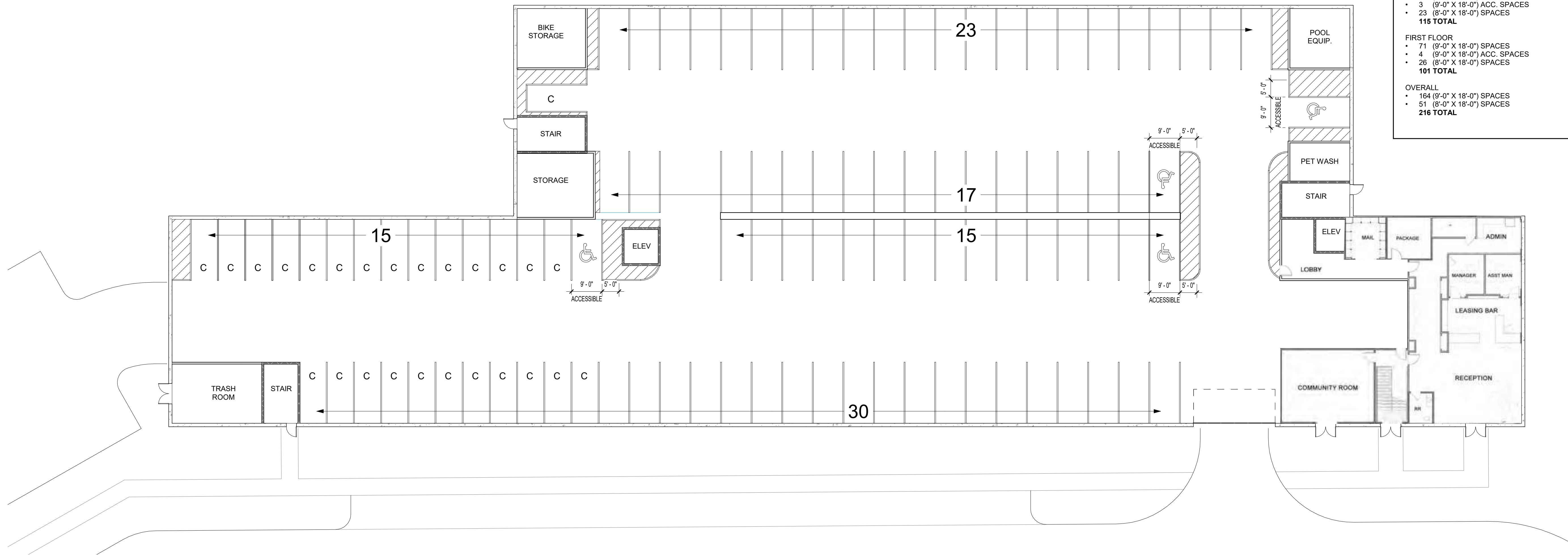
STUDIO	53
1BR	86
2BR	40



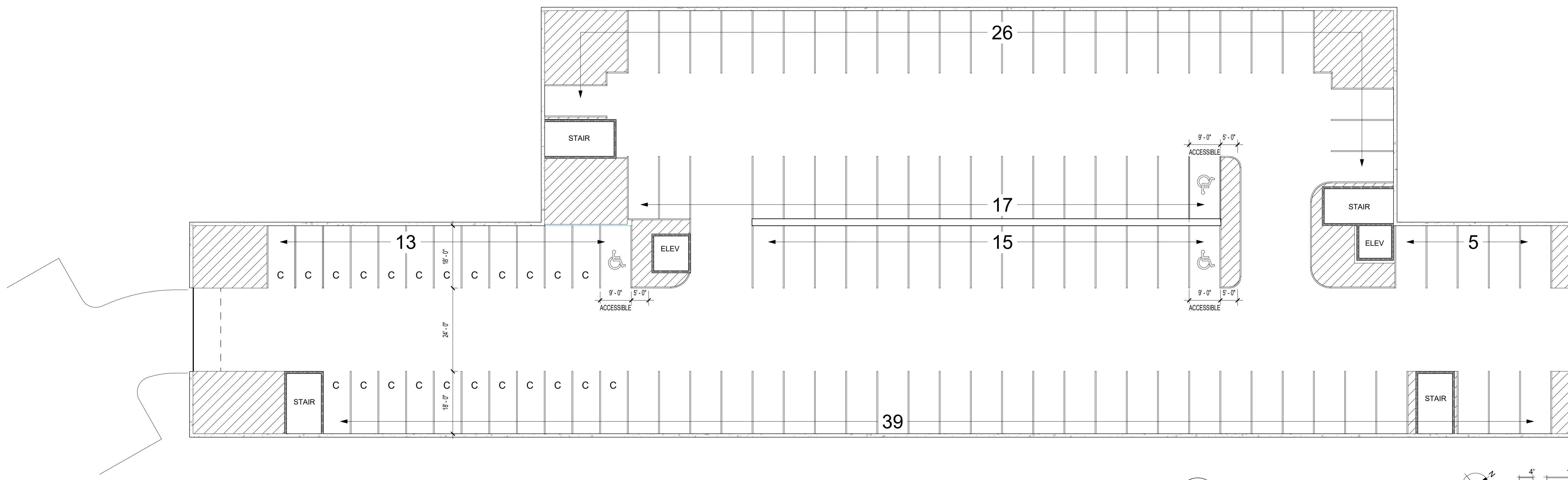
2ND FLOOR PLAN
1/16" = 1'-0"

PARKING MATRIX

- BASEMENT**
- 89 (9'-0" X 18'-0") SPACES
 - 3 (9'-0" X 18'-0") ACC. SPACES
 - 23 (8'-0" X 18'-0") SPACES
 - 115 TOTAL**
- FIRST FLOOR**
- 71 (9'-0" X 18'-0") SPACES
 - 4 (9'-0" X 18'-0") ACC. SPACES
 - 26 (8'-0" X 18'-0") SPACES
 - 101 TOTAL**
- OVERALL**
- 164 (9'-0" X 18'-0") SPACES
 - 51 (8'-0" X 18'-0") SPACES
 - 216 TOTAL**



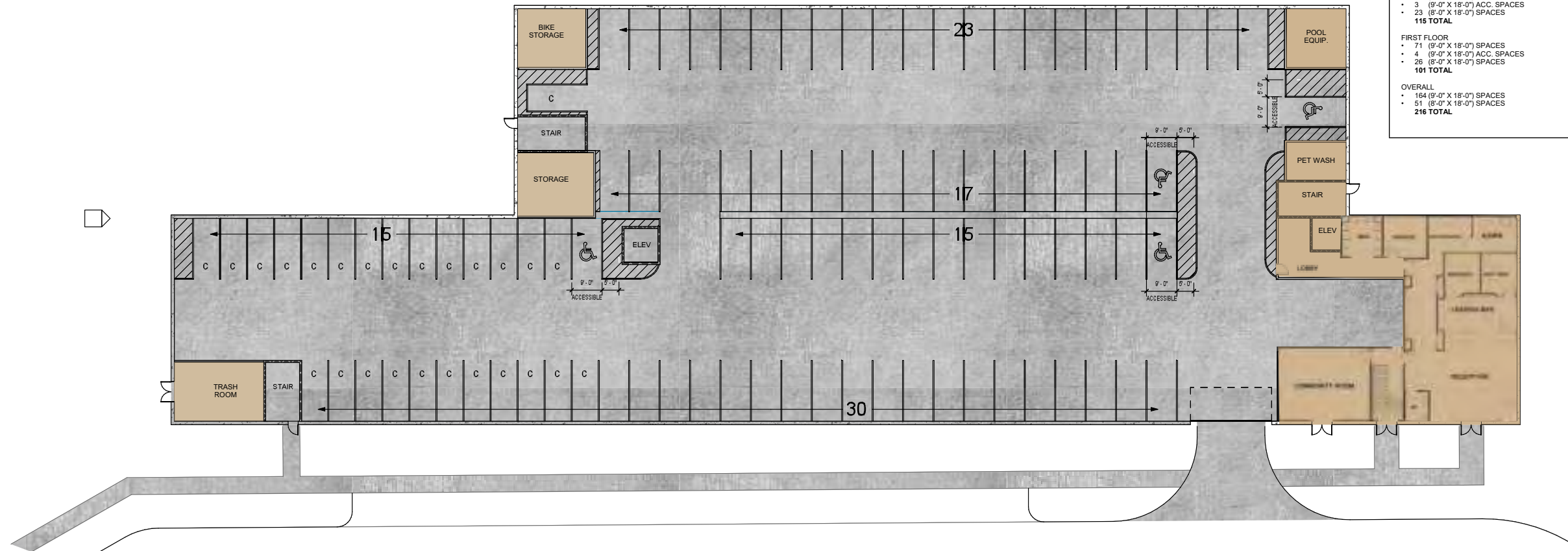
2 1ST FLOOR GARAGE PLAN
1/16" = 1'-0"



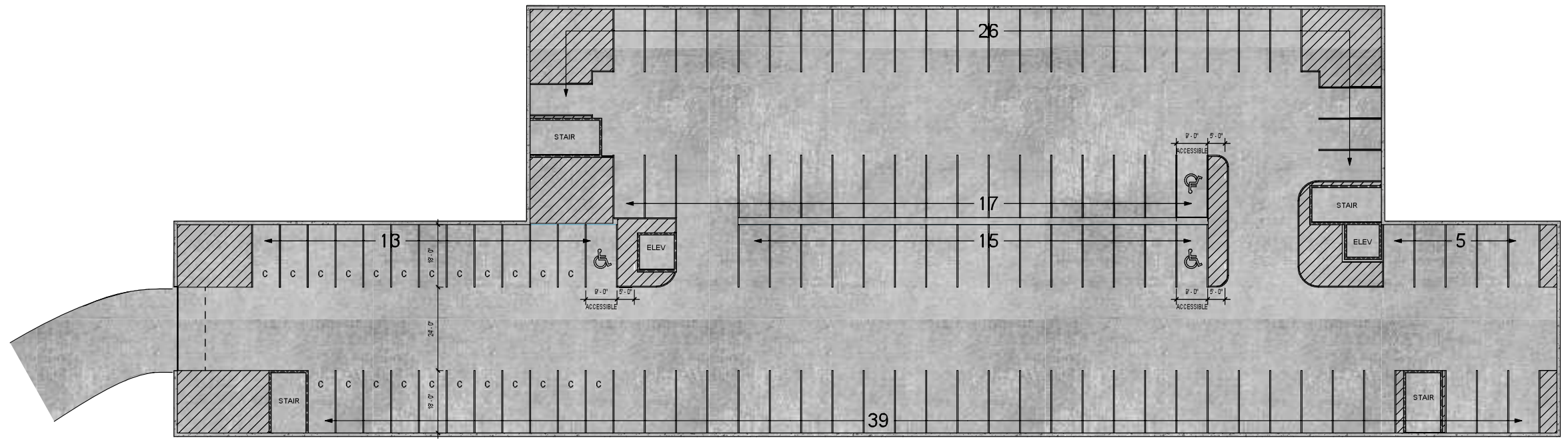
1 BASEMENT GARAGE PLAN
1/16" = 1'-0"

MONARCH APARTMENTS PHASE 2 GARAGE PARKING

PARKING MATRIX	
BASEMENT	
• 89 (9'-0" X 18'-0") SPACES	
• 3 (9'-0" X 18'-0") ACC. SPACES	
• 23 (8'-0" X 18'-0") SPACES	
115 TOTAL	
FIRST FLOOR	
• 71 (9'-0" X 18'-0") SPACES	
• 4 (9'-0" X 18'-0") ACC. SPACES	
• 26 (8'-0" X 18'-0") SPACES	
101 TOTAL	
OVERALL	
• 164 (9'-0" X 18'-0") SPACES	
• 51 (8'-0" X 18'-0") SPACES	
216 TOTAL	



2 1ST FLOOR GARAGE PLAN
1/16" = 1'-0"



1 BASEMENT GARAGE PLAN
1/16" = 1'-0"